

# ALTERATIONS TO AND NEW OFFICE BUILDING AT 1601 LAFITTE AVE



These drawings and specifications have been prepared by me or under my close personal supervision and to the best of my professional knowledge and belief comply with applicable codes and requirements.

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1601 LAFITTE AVE  
DESIGN DEVELOPMENT SET  
1601 LAFITTE AVENUE, NEW ORLEANS LA 70112

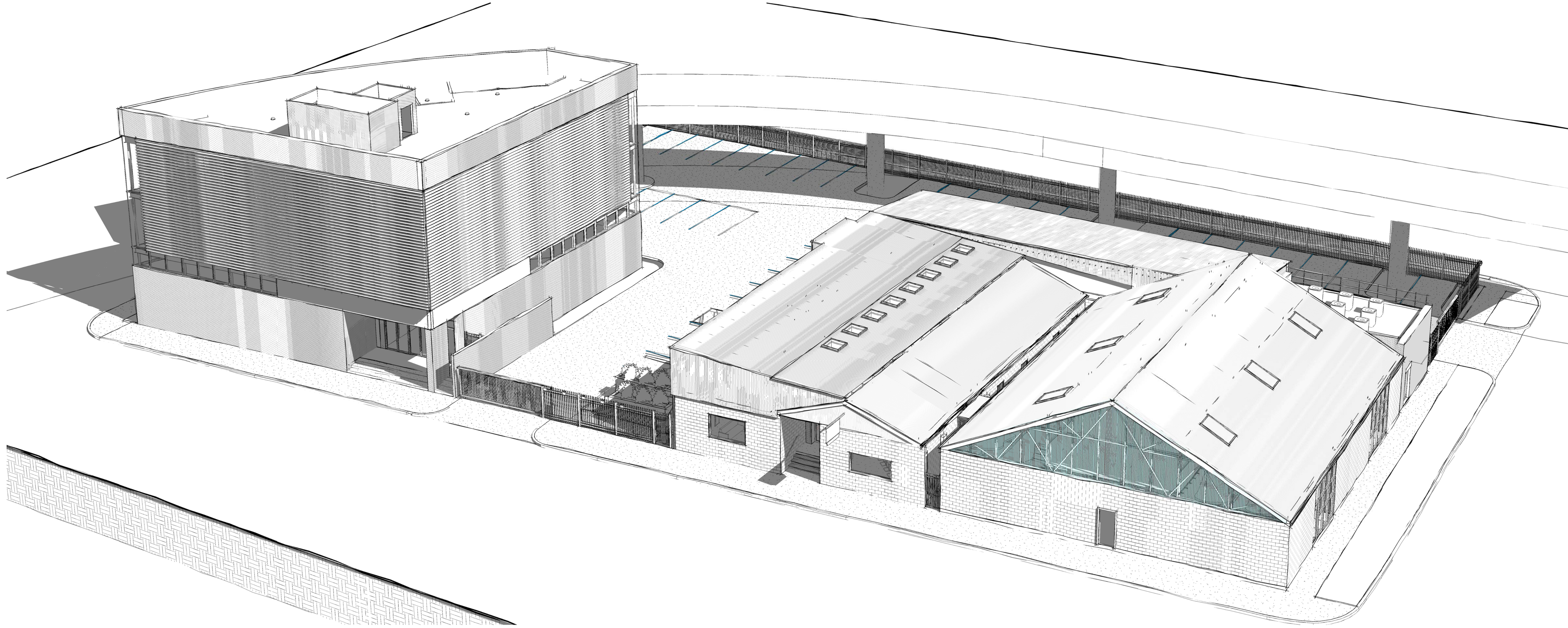
-REVISIONS-		
No.	Date	Scope

DRAWING  
INDEX OF DRAWINGS

DRAWING BY  
SCALE  
JOB No.  
DATE

1/4" = 1'-0"  
515042.00  
4-11-2016

Sheet No.  
**T000**



PROJECT DIRECTORY	PROJECT INFORMATION	GENERAL NOTES	SYMBOL LEGEND	DRAWING INDEX																																			
<b>OWNER / TENANT</b>  HOTEL MANAGEMENT GROUP OR NEW ORLEANS, LLC 814 CONTI STREET SUITE 200 NEW ORLEANS, LA 70112 CONTACT: MICHAEL VAUNETINO OR CHRIS VALENTINO	<b>PROJECT ADDRESS</b> 1601 LAFITTE AVE NEW ORLEANS, LA 70112	SEE OTHER SHEETS FOR ADDITIONAL NOTES & SPECIFIC CONSTRUCTION NOTES.	<div>Building Elevation </div> <div>Call Out </div> <div>Door Tag </div> <div>Grid Head New </div> <div>Grid Head Existing </div> <div>Interior Elevation </div> <div>Keynote </div> <div>Level Head </div> <div>Room Tag </div> <div>Section </div> <div>Detail </div>	<div>01 General T000 INDEX OF DRAWINGS</div> <div>02 Life Safety LS111 FIRST FLOOR LIFE SAFETY PLAN</div> <div>03 Civil C1.0 SITE PLAN C2.0 GRADING PLAN C3.0 UTILITY PLAN C4.0 EROSION CONTROL PLAN C5.0 DETAILS C5.1 DETAILS</div> <div>06 Architectural - Demo AD101 SITE PLAN - DEMOLITION AD111 FIRST FLOOR PLAN - DEMOLITION AD112 SECOND FLOOR PLAN - DEMOLITION AD115 ROOF PLAN - DEMOLITION AD201 EXISTING ELEVATIONS - DEMOLITION AD202 EXISTING ELEVATIONS - DEMOLITION</div> <div>07 Mechanical M001 MECHANICAL LEGEND &amp; NOTES M002 MECHANICAL SPECIFICATIONS M111 MECHANICAL PLAN FIRST FLOOR - EXISTING BLDG. M121 MECHANICAL PLAN SECOND FLOOR - EXISTING BLDG. M211 MECHANICAL PLAN FIRST FLOOR - NEW BLDG. M221 MECHANICAL PLAN SECOND FLOOR - NEW BLDG. M231 MECHANICAL PLAN THIRD FLOOR - NEW BLDG. M241 MECHANICAL PLAN ROOF - NEW BLDG.</div> <div>08 Electrical E001 ELECTRICAL LEGEND &amp; NOTES E112 POWER PLAN FIRST FLOOR - EXISTING BLDG. E113 SPECIAL SYSTEM PLAN FIRST FLOOR - EXISTING BLDG. E122 POWER PLAN SECOND FLOOR - EXISTING BLDG. E123 SPECIAL SYSTEM PLAN SECOND FLOOR - EXISTING BLDG. E211 LIGHTING AND SPECIAL SYSTEM PLAN FIRST FLOOR - NEW BLDG. E212 LIGHTING PLAN FIRST FLOOR - NEW BLDG. E221 LIGHTING AND SPECIAL SYSTEM PLAN SECOND FLOOR - NEW BLDG. E222 POWER PLAN SECOND FLOOR - NEW BLDG. E231 LIGHTING AND SPECIAL SYSTEM PLAN THIRD FLOOR - NEW BLDG. E232 POWER PLAN THIRD FLOOR - NEW BLDG. E241 ELECTRICAL PLAN ROOF - NEW BLDG. E301 ELECTRICAL PANELBOARD SCHEDULES E302 ELECTRICAL PANELBOARD SCHEDULES E502 ELECTRICAL ONE-LINE DIAGRAM</div>																																			
<b>ARCHITECT</b>  JOHN C. WILLIAMS ARCHITECTS, LLC 824 BARONNE ST. NEW ORLEANS, LA 70133 TEL: (504) 566-0888 FAX: (504) 566-0897 pj@jca@williamsarchitects.com	<b>PROJECT DESCRIPTION:</b> RENOVATION OF EXISTING BUILDINGS INTO TWO STORY OFFICE BUILDING. CONSTRUCTION OF NEW THREE STORY OFFICE BUILDING WITH STORAGE ONLY ON GROUND FLOOR. CONSTRUCTION OF NEW PARKING LOT AND DRIVEWAY, PARTIALLY ON LAND TO BE LEASED BY LADOTD.	1. THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL VISIT THE PROJECT SITE AND BECOME GENERALLY FAMILIAR WITH THE PROJECT AND WITH THE IMPACT OF THE NEW WORK ON EXISTING CONDITIONS. ANY AREAS OF CONCERN SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO SUBMITTING A PROPOSAL. NO ADDITIONAL CHARGE TO THE OWNER WILL BE APPROVED WHICH IS ATTRIBUTABLE TO THE CONTRACTOR'S FAILURE TO MEET THIS REQUIREMENT.	16. EXISTING CONDITIONS INDICATED ARE APPROXIMATE AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO PROCEEDING WITH ANY WORK. IF CONDITIONS VARY GREATLY FROM THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT BEFORE PROCEEDING WITH WORK.																																				
<b>STRUCTURAL / CIVIL ENGINEER</b>  WALTER ZEHNER & ASSOCIATES, INC. 4102 TOULOUSE ST NEW ORLEANS, LA 70119 (504)488-1442	<b>MAJOR APPLICABLE CODES AND REGULATIONS</b> (NOT LIMITED TO THE FOLLOWING): NFPA 101 - LIFE SAFETY CODE, 2012 ED. INTERNATIONAL BUILDING CODE, 2012 ED. LOUISIANA STATE PLUMBING CODE, 2013 ED. NATIONAL ELECTRICAL CODE (NFPA-70)	2. WORK ONLY FROM THE WRITTEN DIMENSIONS SHOWN. DO NOT SCALE DRAWINGS. DETAIL DIMENSIONS TAKE PRECEDENCE OVER PLAN DIMENSIONS.	17. PROTECT ADJACENT PROPERTY AND PERSONS FROM THE WORK. WORKING OUTSIDE THE DESIGNATED LIMITS IS PROHIBITED UNLESS APPROVED BY THE CLIENT/USER. A) DO NOT BLOCK DRIVEWAYS, FIRE EXITS AND FIRE EXIT ROUTES. B) LIMIT NOISE TO NORMAL CONSTRUCTION OPERATIONS.																																				
<b>MECHANICAL PLUMBING AND ELECTRICAL ENGINEER</b>  IMC CONSULTING ENGINEERS, INC. 3120 20TH ST. METAIRIE, LA 70002 504-831-9119 Contact: Chp Higbee, PE	<b>PROPERTY INFORMATION</b> SQUARE: 193 LOT: MUNICIPAL DISTRICT: 2 BOUNDING STREETS: N. ROBERTSON ST., LAFITTE AVE, N. CLAIBORNE AVE, ST. PETER STREET PRIMARY ZONING: MU-2 HIGH INTENSITY MIXED USE DISTRICT OVERLAY ZONING: GC GREENWAY CORRIDOR DESIGN OVERLAY DISTRICT EC ENHANCEMENT CORRIDOR DESIGN OVERLAY DISTRICT	3. THE GENERAL CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS, INCLUDING STRUCTURAL, AND DIMENSIONS PRIOR TO CONSTRUCTION. REPORT DEVIATIONS FROM THE DRAWINGS TO THE ARCHITECT IMMEDIATELY UPON DISCOVERY.	18. TO ESTABLISH THE COMPLETE SCOPE OF ITS WORK AND TO AFFECT CLOSE COORDINATION WITH THE OTHER TRADES, EACH TRADE SHALL VISIT THE SITE AND COMPLETELY REVIEW THE DRAWINGS NOT ONLY FOR ITS RESPECTIVE TRADE, BUT THE WORK OF OTHER RELATED TRADES AS WELL.																																				
<b>GENERAL CONTRACTOR</b>  Idt	<b>FLOOR ZONE:</b> A1A3 <b>CONSTRUCTION TYPE:</b> VB-SPRINKLERED (EXISTING BUILDING); IB-SPRINKLERED (NEW BUILDING)	4. THE GENERAL CONTRACTOR SHALL KEEP THE CONSTRUCTION AREA CLEAN AND SAFE AND PROTECT ADJACENT AREAS OUTSIDE THE WORK AREA FROM THE WORK OF THIS CONTRACT. REMOVE AND LEGALLY DISPOSE OF DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM CONSTRUCTION OPERATIONS.	19. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO IDENTIFY POINTS OF ACCESS TO THE SITE AND BUILDING AND TO VERIFY MINIMUM CLEARANCES AVAILABLE FOR USE IN TRANSPORTING NECESSARY CONSTRUCTION MACHINERY, EQUIPMENT, MATERIALS AND COMPONENTS INTO THE BUILDING AND ON THE SITE.																																				
<div><div>GROSS BUILDING AREA - EXISTING BUILDING</div><table><tr><th>Name</th><th>Area</th></tr><tr><td>FIRST FLOOR BUILDING A</td><td>4834 SF</td></tr><tr><td>FIRST FLOOR BUILDING B</td><td>7264 SF</td></tr><tr><td>SECOND FLOOR - BLDG A</td><td>1845 SF</td></tr><tr><td>SECOND FLOOR - BLDG B</td><td>2830 SF</td></tr><tr><td></td><td>16773 SF</td></tr></table></div> <div><div>GROSS BUILDING AREA - NEW BUILDING</div><table><tr><th>Name</th><th>Area</th></tr><tr><td>FIRST FLOOR NEW BUILDING</td><td>4314 SF</td></tr><tr><td>SECOND FLOOR NEW BUILDING</td><td>4522 SF</td></tr><tr><td>THIRD FLOOR NEW BUILDING</td><td>4522 SF</td></tr><tr><td></td><td>13357 SF</td></tr></table></div> <div><div>PROPERTY SCHEDULE</div><table><tr><th>Name</th><th>Area</th></tr><tr><td>LADOTD PARCEL</td><td>17318 SF</td></tr><tr><td>LOT B</td><td>4778 SF</td></tr><tr><td>LOT R-1</td><td>8305 SF</td></tr><tr><td>LOT S-1</td><td>9832 SF</td></tr><tr><td></td><td>40233 SF</td></tr></table></div>		Name	Area	FIRST FLOOR BUILDING A	4834 SF	FIRST FLOOR BUILDING B	7264 SF	SECOND FLOOR - BLDG A	1845 SF	SECOND FLOOR - BLDG B	2830 SF		16773 SF	Name	Area	FIRST FLOOR NEW BUILDING	4314 SF	SECOND FLOOR NEW BUILDING	4522 SF	THIRD FLOOR NEW BUILDING	4522 SF		13357 SF	Name	Area	LADOTD PARCEL	17318 SF	LOT B	4778 SF	LOT R-1	8305 SF	LOT S-1	9832 SF		40233 SF	5. THE GENERAL CONTRACTOR IS FULLY RESPONSIBLE FOR THE CONSTRUCTION, MATERIALS AND WORKMANSHIP OF THE PROJECT DESCRIBED IN THESE DRAWINGS AND NOTES, AND IS TO COMPLY WITH THE INTENT AS WELL AS THE LETTER IN WHICH THEY WERE WRITTEN.	20. THE CONTRACTOR SHALL PROTECT EXISTING UTILITIES AND SERVICES AGAINST INTERRUPTION DUE TO THIS WORK. NECESSARY DISRUPTIONS MUST BE COORDINATED IN ADVANCE OF NEED.	01 EAST ELEVATION BARONNE STREET 1/8" = 1'-0"	
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		6. THE GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTION FOR HIS WORK UNTIL TURNED OVER TO THE OWNER.	21. VERIFY PROPERTY LINES, CONDITIONS, SERVICES AND DIMENSIONS BEFORE COMMENCING THE WORK.	View Title																																			
		7. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH HIS SUBCONTRACTORS. ANY CONFLICTS WITH THEIR WORK, EQUIPMENT PLACEMENT, ETC. ARE TO BE RESOLVED PRIOR TO INSTALLATION OF THE WORK.	22. KEEP THE CONSTRUCTION AREA CLEAN AND SAFE AND PROTECT ADJACENT AREAS OUTSIDE THE WORK AREA FROM CONSTRUCTION ACTIVITIES, AND PROVIDE ALL NECESSARY PROTECTION OF THIS OWN WORK UNTIL TURNED OVER TO THE OWNER.	Wall Tag	P1a																																		
		A) THE CONTRACTOR SHALL COORDINATE AND LOCATE ELECTRICAL DEVICES, DATA AND PHONE RECEPTACLES, SWITCHES, ETC. TO AVOID CONFLICTS WITH CASEWORK, DOORS AND OTHER TRADES.	23. PROVIDE A MINIMUM 4' HIGH FENCING AND METAL POSTS FOR PROTECTION OF AREAS DURING OPERATIONS AND FOR SECURITY CONTROL. PROVIDE OTHER PEDESTRIAN AND PUBLIC PROTECTION REQUIRED BY THE REGULATORY AGENCIES.	Window Tag																																			
		B) THE CONTRACTOR SHALL VERIFY & COORDINATE, WITH ALL TRADES, THE SIZES AND LOCATIONS OF ALL OPENINGS FOR MECHANICAL, PLUMBING AND ELECTRICAL EQUIPMENT, EQUIPMENT PADS, OR BASES AS WELL AS POWER, WATER AND DRAIN INSTALLATIONS BEFORE PROCEEDING WITH THE WORK.	24. PROVIDE INTERIOR AND EXTERIOR BRACING OR SUPPORT TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF AREA BEING WORKED IN AND ADJACENT AREAS. CEASE OPERATIONS AND NOTIFY ARCHITECT IMMEDIATELY IF SAFETY OF STRUCTURE APPEARS TO BE ENDANGERED. TAKE PRECAUTIONS TO SUPPORT STRUCTURE UNTIL DETERMINATION IS MADE TO CONTINUE OPERATIONS.																																				
		C) THE CONTRACTOR SHALL PROVIDE COORDINATION DRAWINGS FOR PROPER PLACEMENT OF ALL TRADES WORK. ALL CONCERNS, SPACE LIMITATIONS OR STRUCTURAL CONFLICTS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.	25. PROVIDE SECURITY AND FACILITIES TO PROTECT SITE AREA, EXISTING FACILITY AND EQUIPMENT FROM UNAUTHORIZED ENTRY, VANDALISM OR THEFT DURING THE WORK. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SECURITY OF HISHER OWN EQUIPMENT AND TOOLS.																																				
		8. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL CASEWORK, MILLWORK AND SPECIALTY ITEMS TO ARCHITECT FOR REVIEW PRIOR TO FABRICATION.	26. CONTRACTOR SHALL HAVE USE OF THE ADJACENT PARKING LOT.																																				
		9. INSTALL ALL MANUFACTURED ITEMS, MATERIALS AND EQUIPMENT IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDED SPECIFICATIONS.	27. THE COST FOR CONNECTION TO AND POWER LINES FROM AVAILABLE POWER SOURCE SHALL BE AT CONTRACTOR'S SOLE EXPENSE.																																				
		10. LOCATION AND DIMENSIONS SHALL BE PER ARCHITECTURAL DRAWINGS. DISCREPANCIES MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE THE START OF WORK. FURNISHINGS INDICATED ON ARE FOR REFERENCE AND COORDINATION.	28. PROVIDE TEMPORARY LIGHTING AS REQUIRED; CONNECT TO TEMPORARY ELECTRIC SERVICE.																																				
		11. VARIATIONS FROM THE WORK DUE TO AVAILABILITY OF MATERIALS, FIELD CONDITIONS, EQUIPMENT SPECS, ETC. SHALL BE MADE ONLY WITH THE APPROVAL OF THE ARCHITECT.	29. PROVIDE TEMPORARY VENTILATION AS REQUIRED TO PROTECT WORKERS.																																				
		12. ALL WORK SHALL BE PERFORMED IN COMPLETE COMPLIANCE WITH ALL NATIONAL, STATE AND LOCAL CODES AND ORDINANCES AND IN ACCORDANCE WITH THE AGENCIES HAVING JURISDICTION. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND INSPECTIONS FOR THE WORK.	30. PROVIDE AND PAY FOR TELEPHONE AND TELEPHONE FACSIMILE SERVICE TO FIELD OFFICE.																																				
		13. IT IS THE INTENT OF THE DOCUMENTS TO PROVIDE FOR COMPLETE FINISHED WORK. ALL MISCELLANEOUS COMPONENTS, PARTS, ANCHORS, AND OTHER INCIDENTAL ITEMS REQUIRED FOR COMPLETE ASSEMBLY, FUNCTIONING AND OPERATION OF AN ITEM OR SYSTEM SHALL BE PROVIDED. THE CONTRACTOR SHALL INCLUDE ALL COMPONENTS THAT ARE NORMALLY INCIDENTAL TO THE WORK. THOSE COMPONENTS WHICH ARE NOT SHOWN ON THE DRAWINGS OR CALLED FOR IN THE SPECIFICATION, BUT WHICH ARE REQUIRED AS ESSENTIAL AESTHETICS OR FUNCTIONAL COMPONENT OF THE WORK, SHALL BE INCLUDED AS IF IT WERE DRAWN OR SPECIFIED.	31. CONNECT TO EXISTING WATER SOURCE FOR TEMPORARY WATER SERVICE. IF UTILITY IS CAPPED, COORDINATE WITH CLIENT/USER.																																				
		14. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROVIDE IN A TIMELY MANNER, AT NO ADDITIONAL COST TO THE OWNER, ACCURATE AND COMPLETE DRAWINGS, SKETCHES, AND PHOTOGRAPHS SUFFICIENT TO CLEARLY DESCRIBE DISCREPANCIES, CONFLICTS AND CONCEALED OR OTHERWISE UNANTICIPATED EXISTING CONDITIONS ENCOUNTERED THAT AFFECT THE NEW CONSTRUCTION.	32. PROVIDE TEMPORARY SANITARY FACILITIES.																																				
		15. APPLY FOR AND SECURE ALL PERMITS AND COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS FOR SAFETY AND PROTECTION OF ADJACENT BUILDINGS AND OCCUPIED AREAS, DUST CONTROL, UTILITY DISCOVERED HAZARDS AND DISPOSAL. CONTACT APPROPRIATE AGENCIES PRIOR TO ANY BELOW GRADE EXCAVATIONS. NOTIFY OWNER AND PROTECT FROM DISTURBANCE ANY DISCOVERY OF SUSPECTED HAZARDOUS MATERIALS.	33. CONTRACTOR SHALL PROVIDE ALL SHORING AND STABILIZING BRACING AS REQUIRED TO PROTECT FROM STRUCTURAL FAILURE OR COLLAPSE.																																				
			34. MAINTAIN FIRE SAFETY CONTROL AT ALL TIMES.																																				

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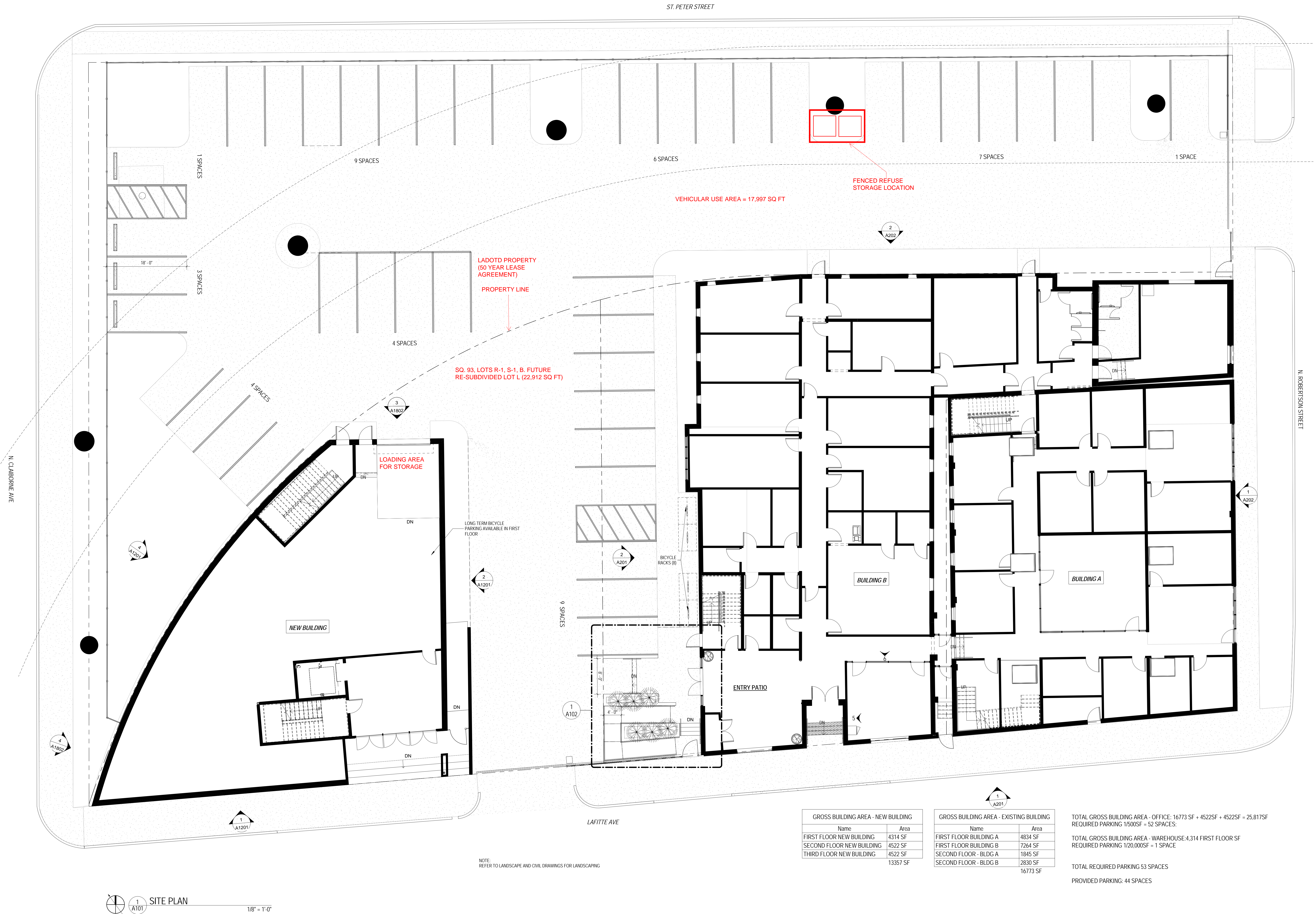
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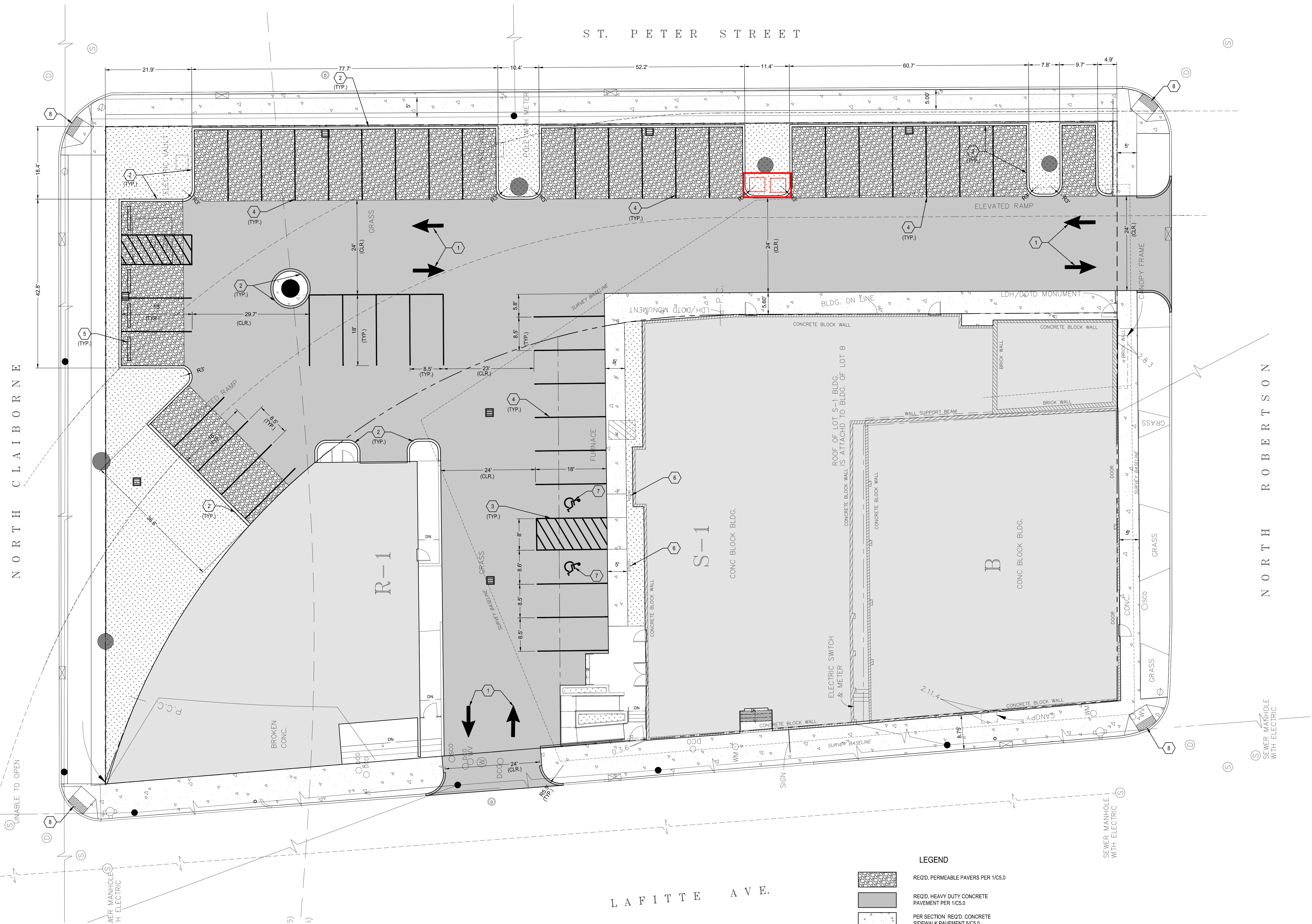
1601 LAFITTE AVE  
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1601 LAFITTE AVENUE, NEW ORLEANS LA 70112

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ARCHITECTURAL SITE PLAN

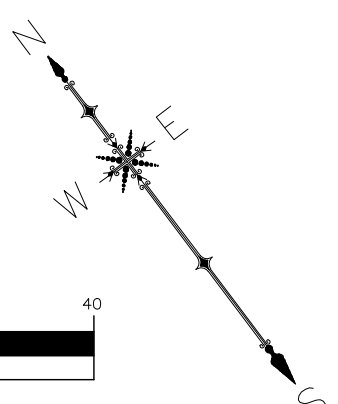
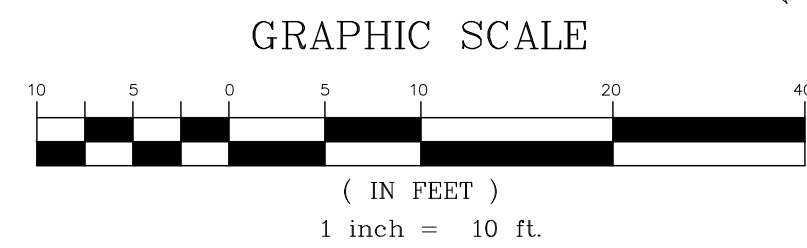
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OB No.	515042.00
DATE	4-11-2016

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- LEGEND**
- REQ'D. PERMEABLE PAVERS PER 11/C5.0
  - REQ'D. HEAVY DUTY CONCRETE PAVEMENT PER 11/C5.0
  - PER SECTION REQ'D. CONCRETE SIDEWALK PAVEMENT 9/C5.0
  - REQ'D. DROP INLET (SEE UTILITY PLANS)
  - REQ'D. DRAIN MANHOLE (SEE UTILITY PLANS)
  - REQ'D. SEWER MANHOLE (SEE UTILITY PLANS)
  - YELLOW TRAFFIC ARROW PER 11/C5.0
  - REQ'D. 6" CONCRETE BARRIER CURB PER SECTION 4/C5.0
  - REQ'D. 4" WIDE BLUE TRAFFIC STRIPING
  - REQ'D. 4" WIDE WHITE TRAFFIC STRIPING
  - REQ'D. CONCRETE WHEEL STOP PER 3/C5.0
  - REQ'D. H/C SIGN PER 9/C5.0
  - REQ'D H/C SYMBOL PER 10/C5.0
  - REQ'D H/C RAMP PER 8/C5.1



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**ALTERATIONS TO  
1601 LAFITTE AVE  
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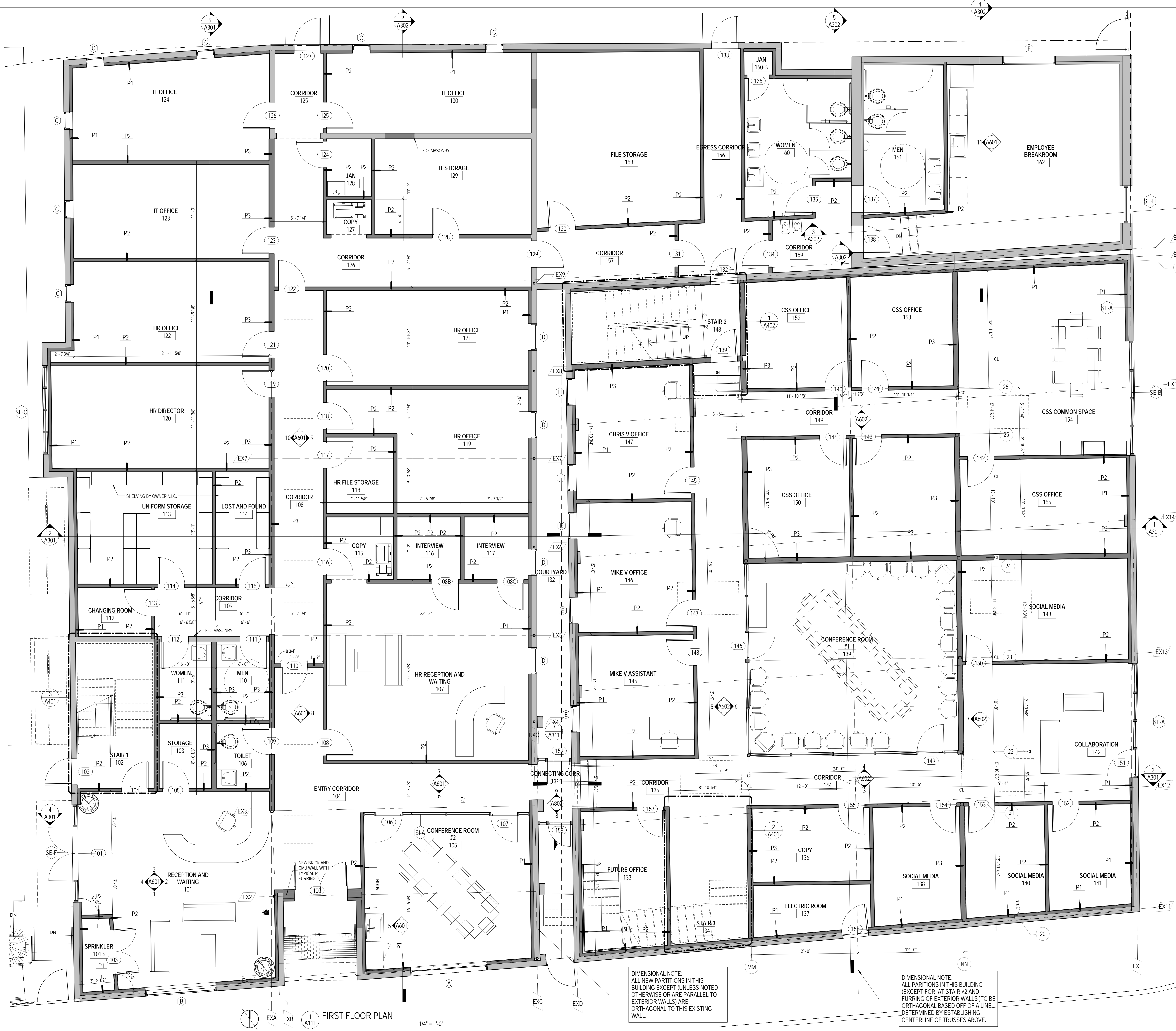
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No.	Date	Scope

DRAWING  
SITE PLAN

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SCALE 1" = 10'-0"  
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DATE 4-11-2016  
Sheet No.

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## GENERAL NOTES

1. ALL DIMENSIONS ARE TO FACE OF STUD OR MASONRY WALL UNLESS OTHERWISE NOTED.
2. ALL EXISTING WALL DIMENSIONS AND LOCATIONS TO BE VERIFIED IN THE FIELD.
3. ALL EXISTING COLUMN LINE DIMENSIONS AND LOCATIONS TO BE VERIFIED IN THE FIELD.



JOHN C. WILLIAMS ARCHITECTS LLC  
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DRAWING  
FIRST FLOOR PLAN

DRAWING BY  
SCALE  
JOB No.  
DATE

Author  
1/4" = 1'-0"  
515042.00  
4-11-2016

Sheet No.

PARTITION SCHEDULE	
Type Mark	Description
P1	3-5/8" METAL STUD @16" O.C. FURRING WITH 5/8" GYP BD ON INTERIOR WITH R-13 CAVITY BATT INSULATION
P2	3-5/8" METAL STUD @16" O.C. WITH 5/8" GYP BD ON EACH SIDE: PROVIDE 3-5/8" ACOUSTICAL FIBERGLASS CAVITY INSULATION
P3	6" METAL STUD @16" O.C. WITH 5/8" GYP. BD. ON EACH SIDE: PROVIDE 6" ACOUSTICAL FIBERGLASS CAVITY INSULATION

A111

DIMENSIONAL NOTE:  
ALL NEW PARTITIONS IN THIS BUILDING EXCEPT FOR AT STAIR #2 AND FURRING OF EXTERIOR WALLS) TO BE ORTHOGONAL BASED OFF OF A LINE DETERMINED BY ESTABLISHING CENTERLINE OF TRUSSES ABOVE.

DIMENSIONAL NOTE:  
ALL NEW PARTITIONS IN THIS BUILDING EXCEPT FOR AT STAIR #2 AND FURRING OF EXTERIOR WALLS) TO BE ORTHOGONAL BASED OFF OF A LINE DETERMINED BY ESTABLISHING CENTERLINE OF TRUSSES ABOVE.

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DRAWING  
SECOND FLOOR PLAN

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SCALE 1/4" = 1'-0"  
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Sheet No.

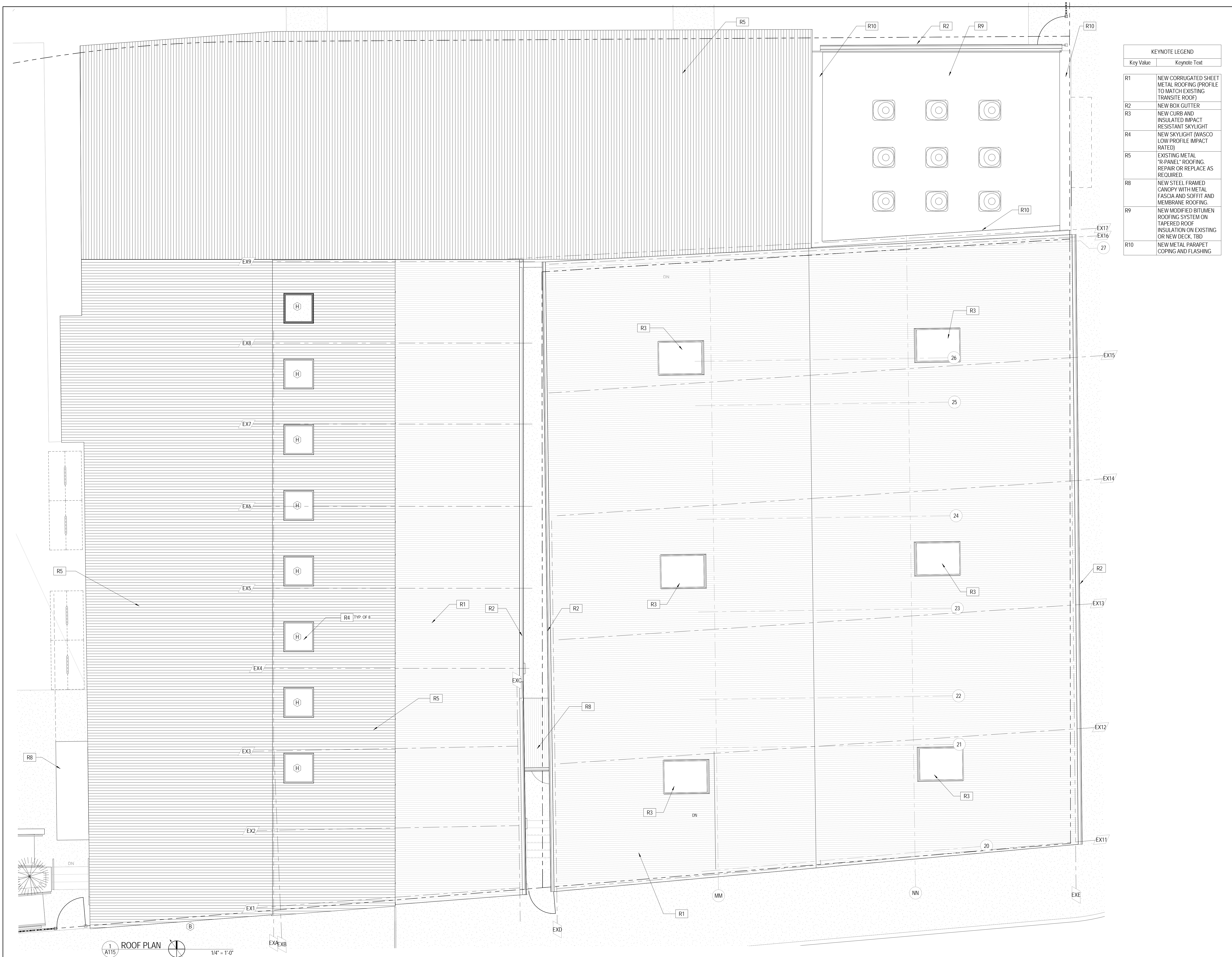
Author

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KEYNOTE LEGEND	
Key Value	Keynote Text
R1	NEW CORRUGATED SHEET METAL ROOFING (PROFILE TO MATCH EXISTING TRANSITE ROOF)
R2	NEW BOX GUTTER
R3	NEW CURB AND INSULATED IMPACT RESISTANT SKYLIGHT
R4	NEW SKYLIGHT (WASCO LOW PROFILE IMPACT RATED)
R5	EXISTING METAL "R-PANEL" ROOFING. REPAIR OR REPLACE AS REQUIRED.
R8	NEW STEEL FRAMED CANOPY WITH METAL FASCIA AND SOFFIT AND MEMBRANE ROOFING.
R9	NEW MODIFIED BITUMEN ROOFING SYSTEM ON TAPERED ROOF INSULATION ON EXISTING OR NEW DECK. TBD
R10	NEW METAL PARAPET COPING AND FLASHING

WILLIAMS ARCHITECTS

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X \_\_\_\_\_

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DRAWING  
ROOF PLAN

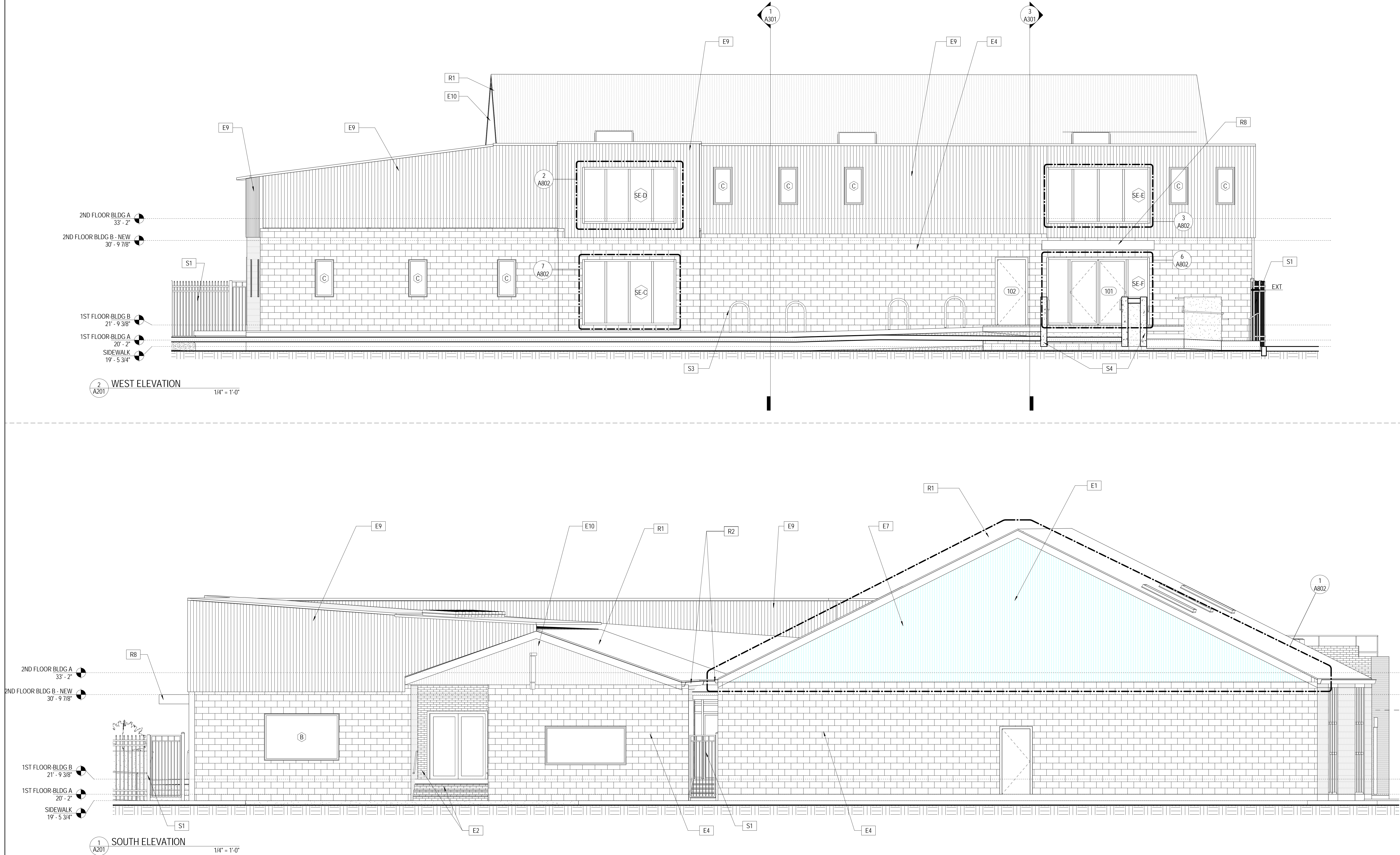
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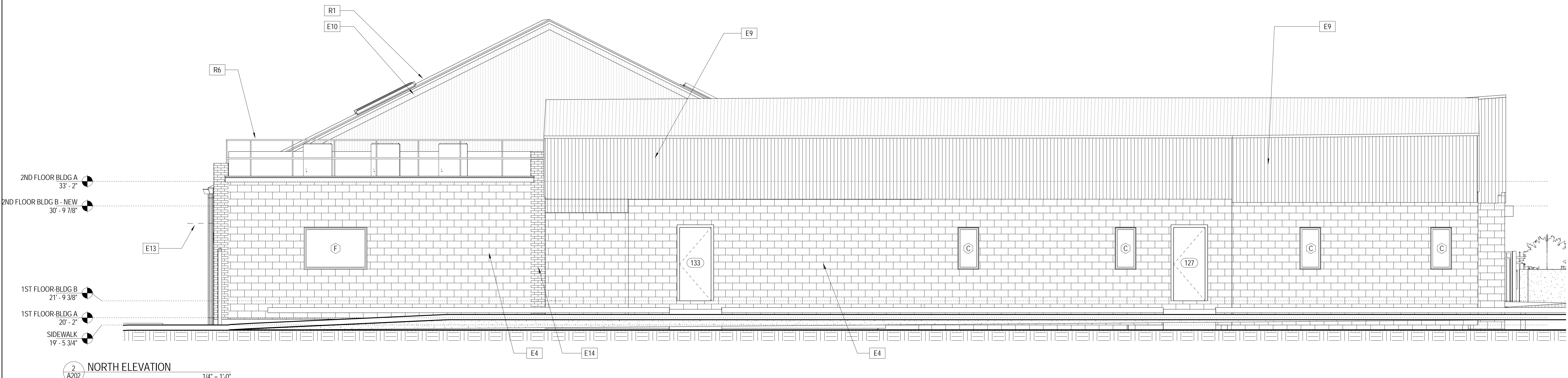
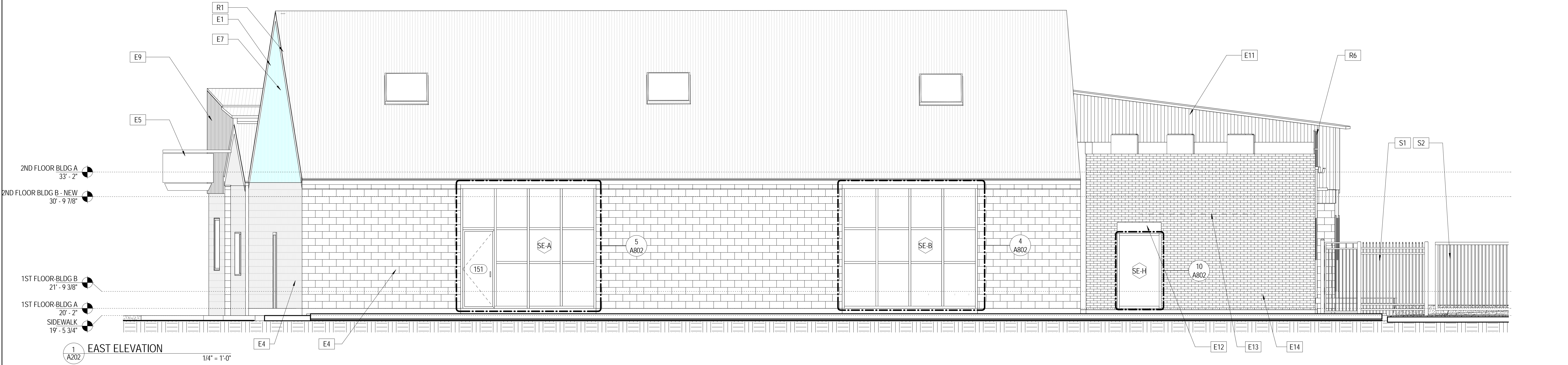
Sheet No.

A115

No.	Date	Scope



KEYNOTE LEGEND	
Key Value	Keynote Text
E1	NEW CORRUGATED TRANSLUCENT WALL PANELING
E2	NEW BRICK STAIRS AND BRICK/CMU WALL. REUSE BRICKS FROM FORMER STAIRS/WALL OR MATCH EXISTING
E4	PAINT EXISTING CMU WALL. REFER TO STRUCTURAL DRAWINGS FOR MASONRY REPAIR.
E7	INSULATED IMPACT RESISTANT STOREFRONT SYSTEM BEYOND.
E9	EXISTING METAL "R-PANEL" TYPE WALL PANELING. REPAIR OR REPLACED DAMAGED PANELS AS REQUIRED.
E10	NEW CORRUGATED METAL WALL PANELING TO MATCH PROFILE OF FORMER TRANSITE WALL PANELING.
R1	NEW CORRUGATED SHEET METAL ROOFING (PROFILE TO MATCH EXISTING TRANSITE ROOF)
R2	NEW BOX GUTTER
R8	NEW STEEL FRAMED CANOPY WITH METAL FASCIA AND SOFFIT AND MEMBRANE ROOFING.
S1	NEW 7' HIGH METAL PICKET FENCE AND GATES.
S3	NEW STAINLESS STEEL "U" BICYCLE RACK
S4	8" CONCRETE RETAINING WALLS AND PLANTERS



KEYNOTE LEGEND	
Key Value	Keynote Text
E1	NEW CORRUGATED TRANSLUCENT WALL PANELING
E4	PAINT EXISTING CMU WALL. REFER TO STRUCTURAL DRAWINGS FOR MASONRY REPAIR.
E5	PREP, PRIME, AND PAINT EXISTING BLADE SIGN. FABRICATE AND INSTALL NEW METAL SIGN BELOW AND ATTACH TO EXISTING.
E7	INSULATED IMPACT RESISTANT STOREFRONT SYSTEM BEYOND.
E9	EXISTING METAL "R-PANEL" TYPE WALL PANELING. REPAIR OR REPLACED DAMAGED PANELS AS REQUIRED.
E10	NEW CORRUGATED METAL WALL PANELING TO MATCH PROFILE OF FORMER TRANSITE WALL PANELING.
E11	NEW METAL "R-PANEL" TYPE WALL PANELING, TO MATCH EXISTING.
E12	NEW METAL PANEL INFILL ABOVE NEW STOREFRONT SYSTEM. ALLOW FOR PENETRATION OF EXISTING STEEL META RACK.
E13	PREP, PRIME, AND PAINT EXISTING MEAT RACK. ENSURE EXISTING SUPPORTS ARE INTACT.
E14	PREP, PRIME, AND PAINT EXISTING BRICK WALL. REFER TO STRUCTURAL DRAWINGS FOR MASONRY REPAIR.
R1	NEW CORRUGATED SHEET METAL ROOFING (PROFILE TO MATCH EXISTING TRANSITE ROOF)
R6	42" HIGH GALVANIZED STEEL GUARDRAIL, MOUNTED AT BASE TO EXISTING CMU WALL.
S1	NEW 7' HIGH METAL PICKET FENCE AND GATES.
S2	NEW 7' HIGH AUTOMATIC SLIDING GATE WITH CARD AND KEYPAD ACCESS CONTROL.

-REVISIONS-		
No.	Date	Scope

DRAWING  
ELEVATIONS

DRAWING BY  
SCALE  
JOB No.  
DATE

AKM  
1/4" = 1'-0"  
515042.00  
4-11-2016

Sheet No.

A202

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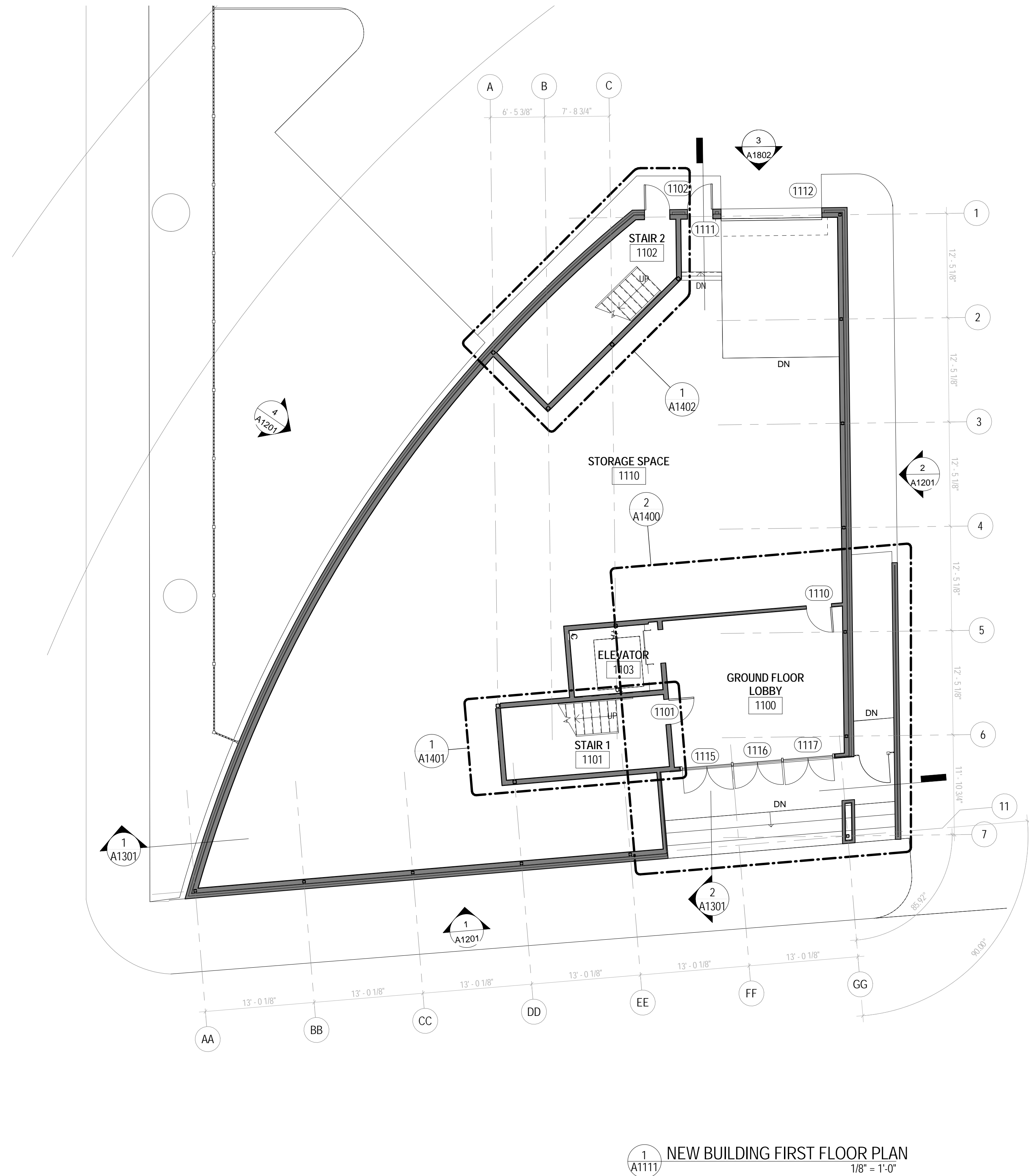
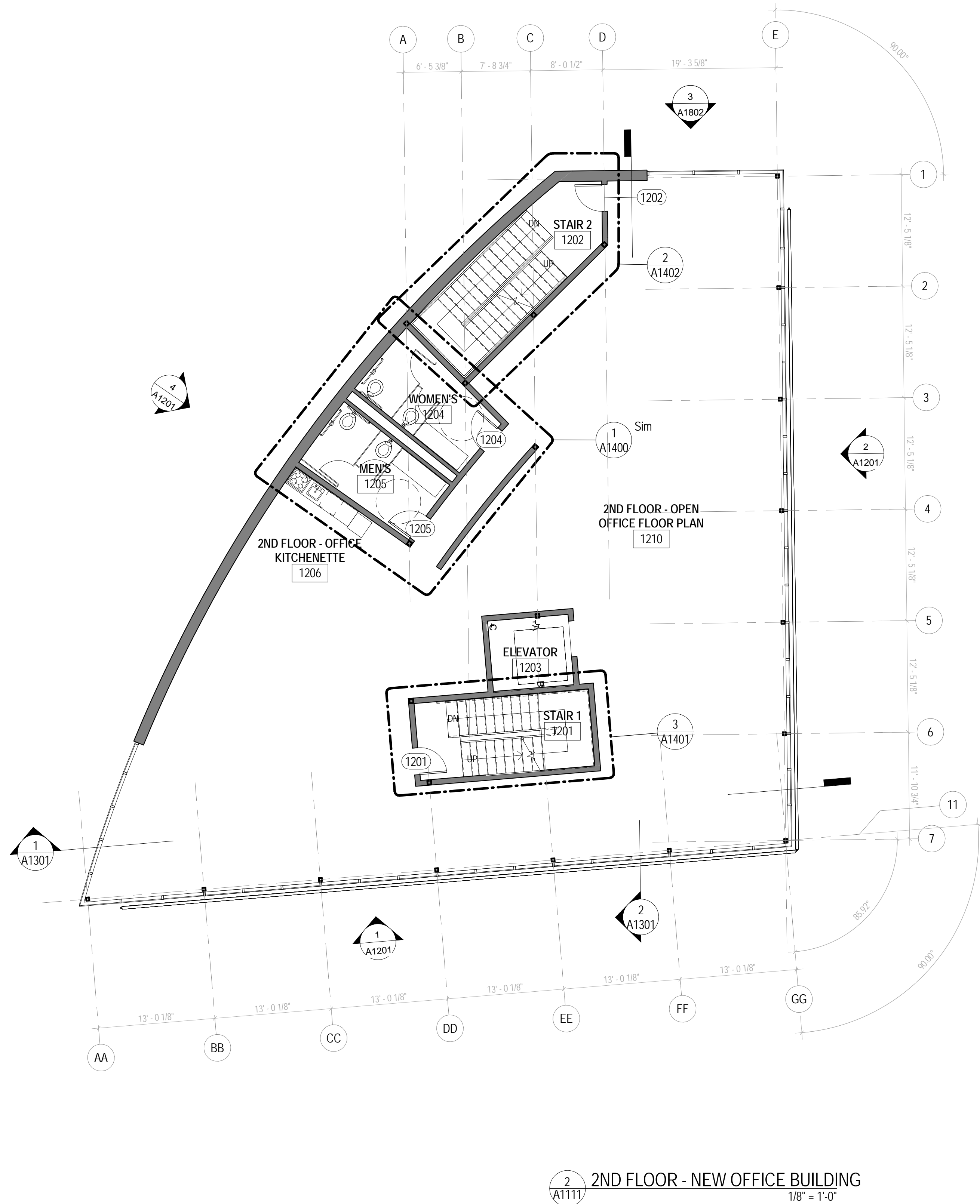
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DESIGN DEVELOPMENT SET  
1601 LAFITTE AVENUE, NEW ORLEANS LA 70112

-REVISIONS-		
No.	Date	Scope

DRAWING  
NEW BUILDING FLOOR  
PLANS  
DRAWING BY  
SCALE 1/8" = 1'-0"  
JOB No. 515042.00  
DATE 4-11-2016  
Sheet No.

A1111



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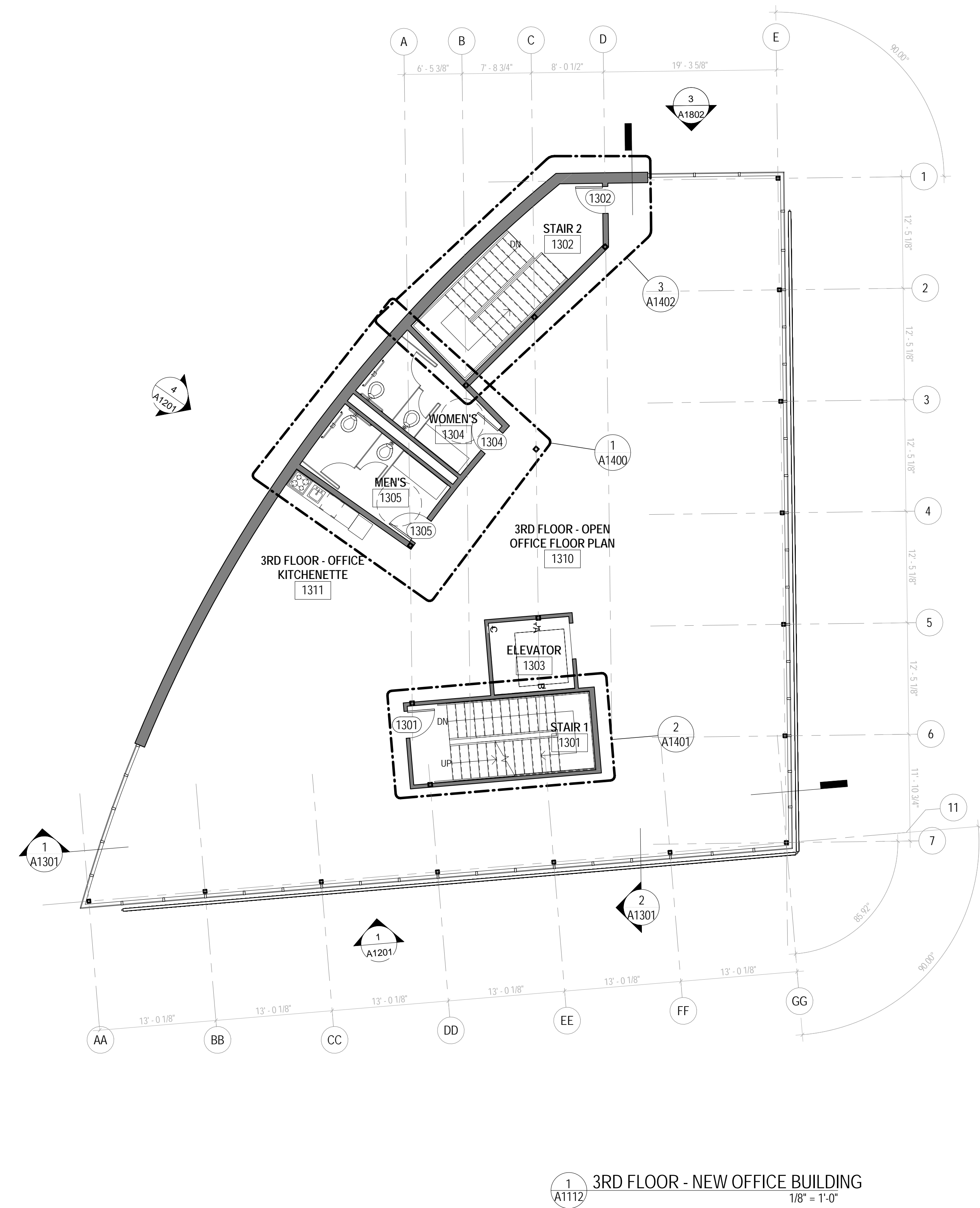
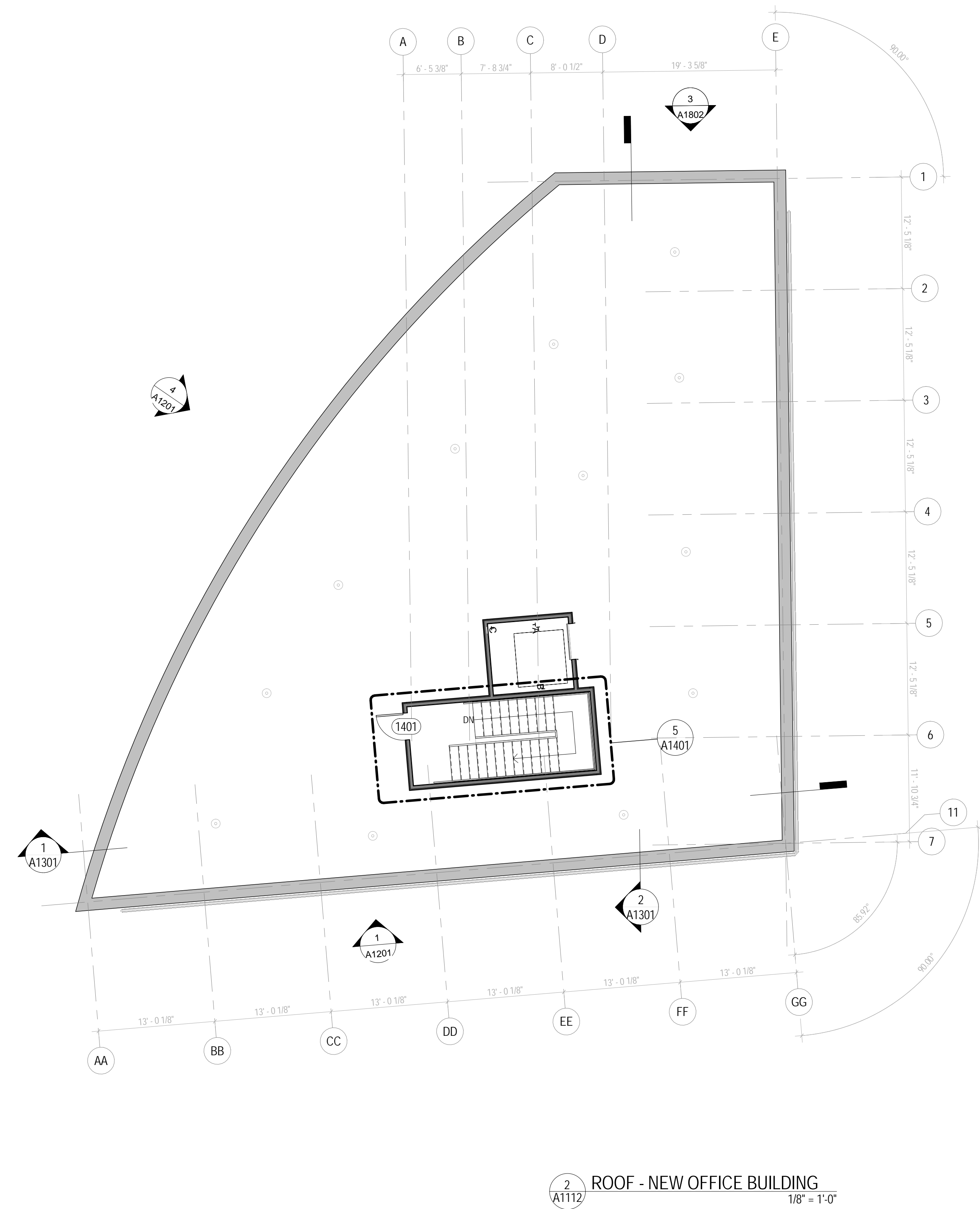
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DRAWING  
NEW BUILDING FLOOR  
PLANS

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JOB No.	515042.00
DATE	4-11-2016

Street No. \_\_\_\_\_

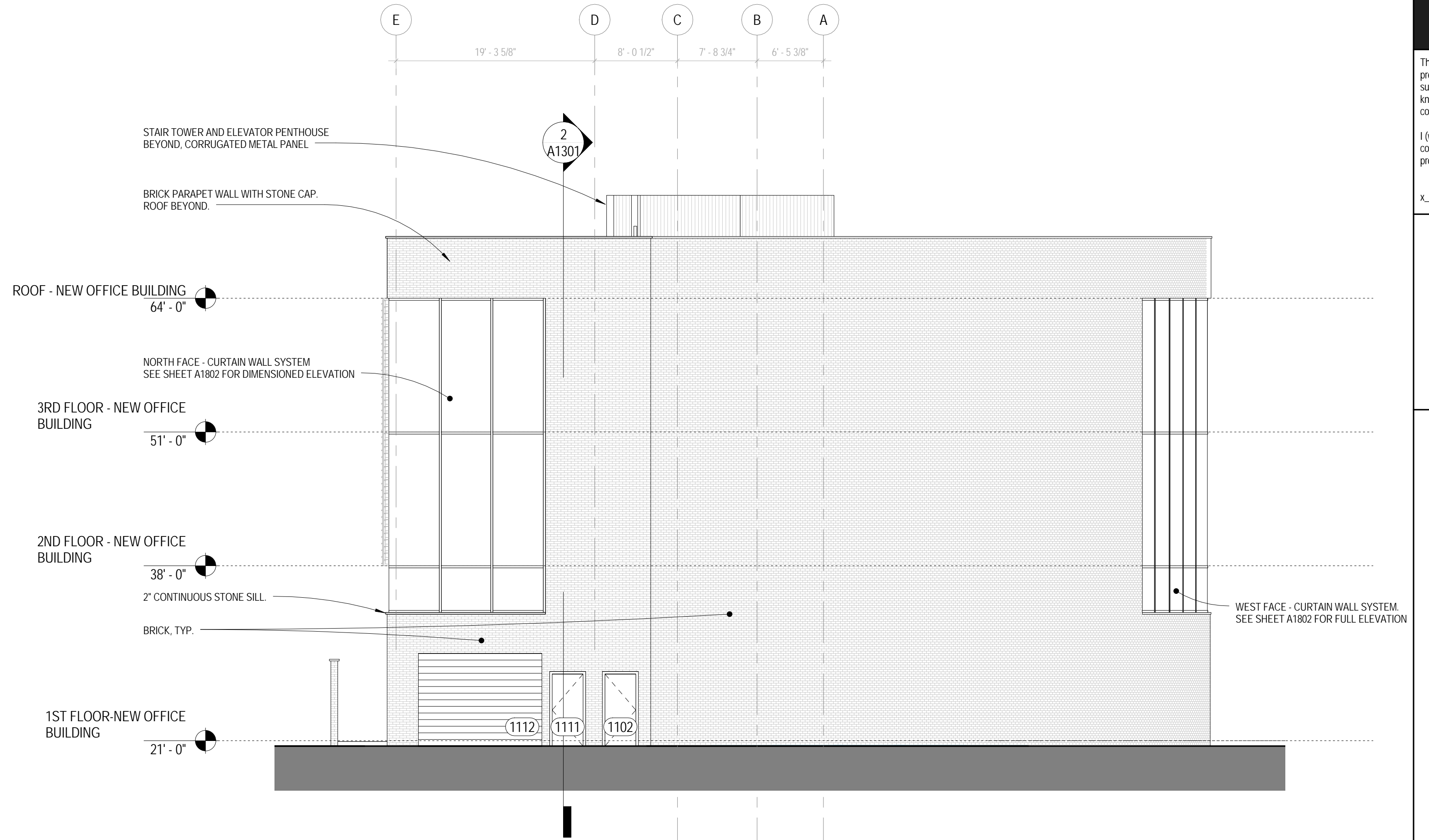
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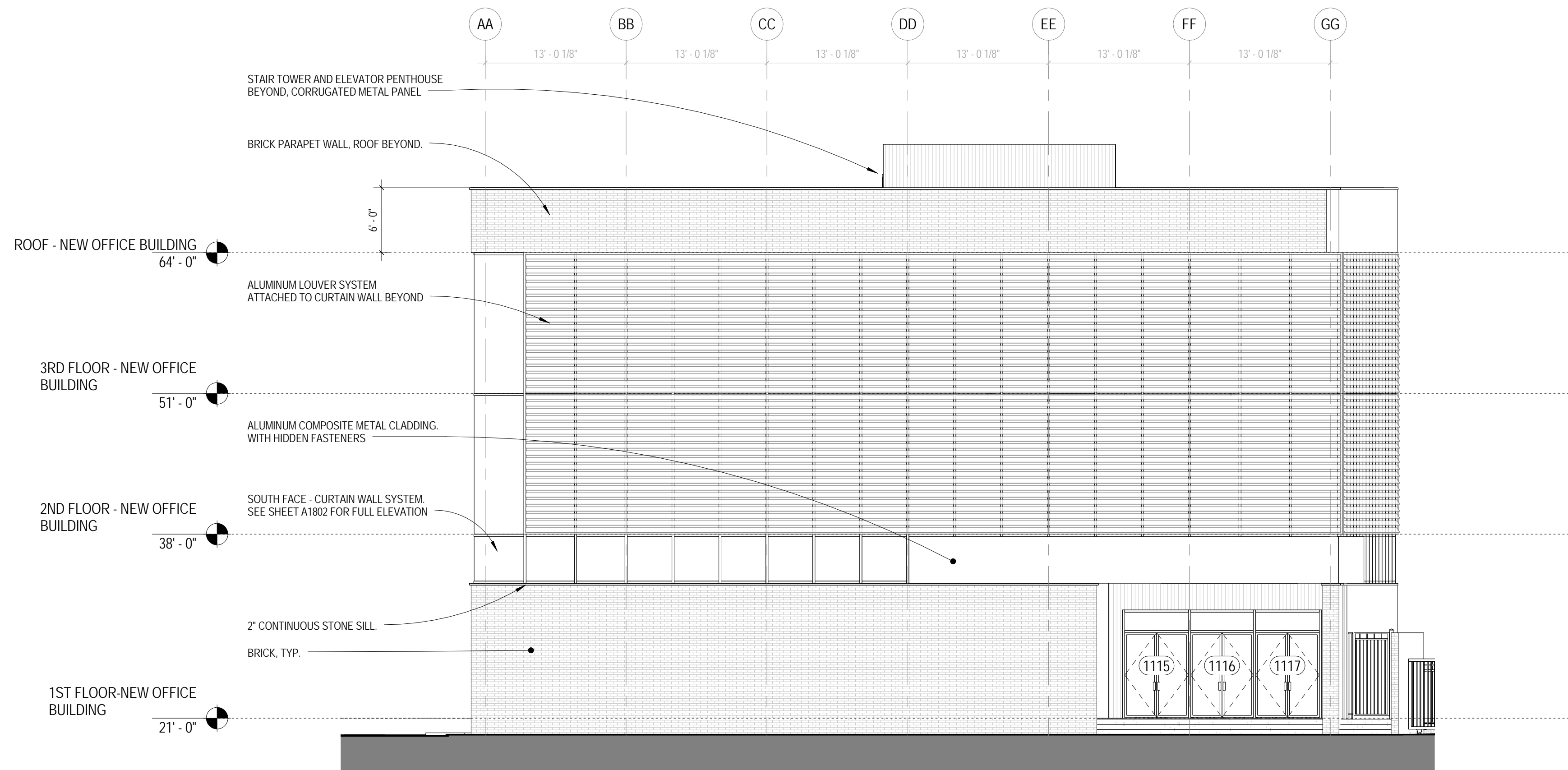
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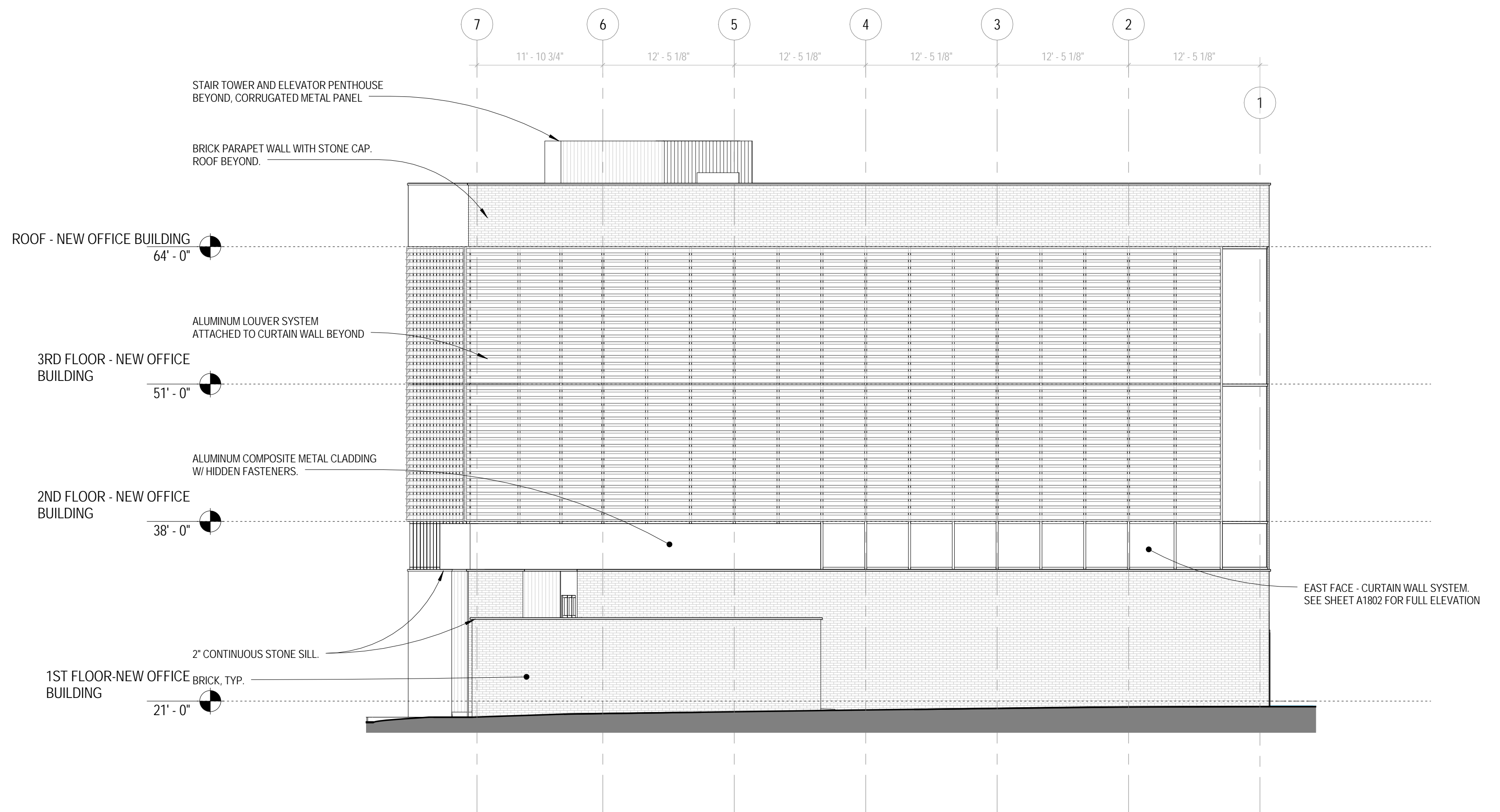
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ELEVATION (N CLAIBORNE)  
1/8" = 1'-0"  
4  
A1201



NEW BUILDING - NORTH  
ELEVATION (ST. PETER)  
1/8" = 1'-0"  
3  
A1201



NEW BUILDING - SOUTH  
ELEVATION (LAFITTE ST.)  
1/8" = 1'-0"  
1  
A1201



NEW BUILDING - EAST  
ELEVATION (N ROBERTSON)  
1/8" = 1'-0"  
2  
A1201



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NEW BUILDING ELEVATIONS

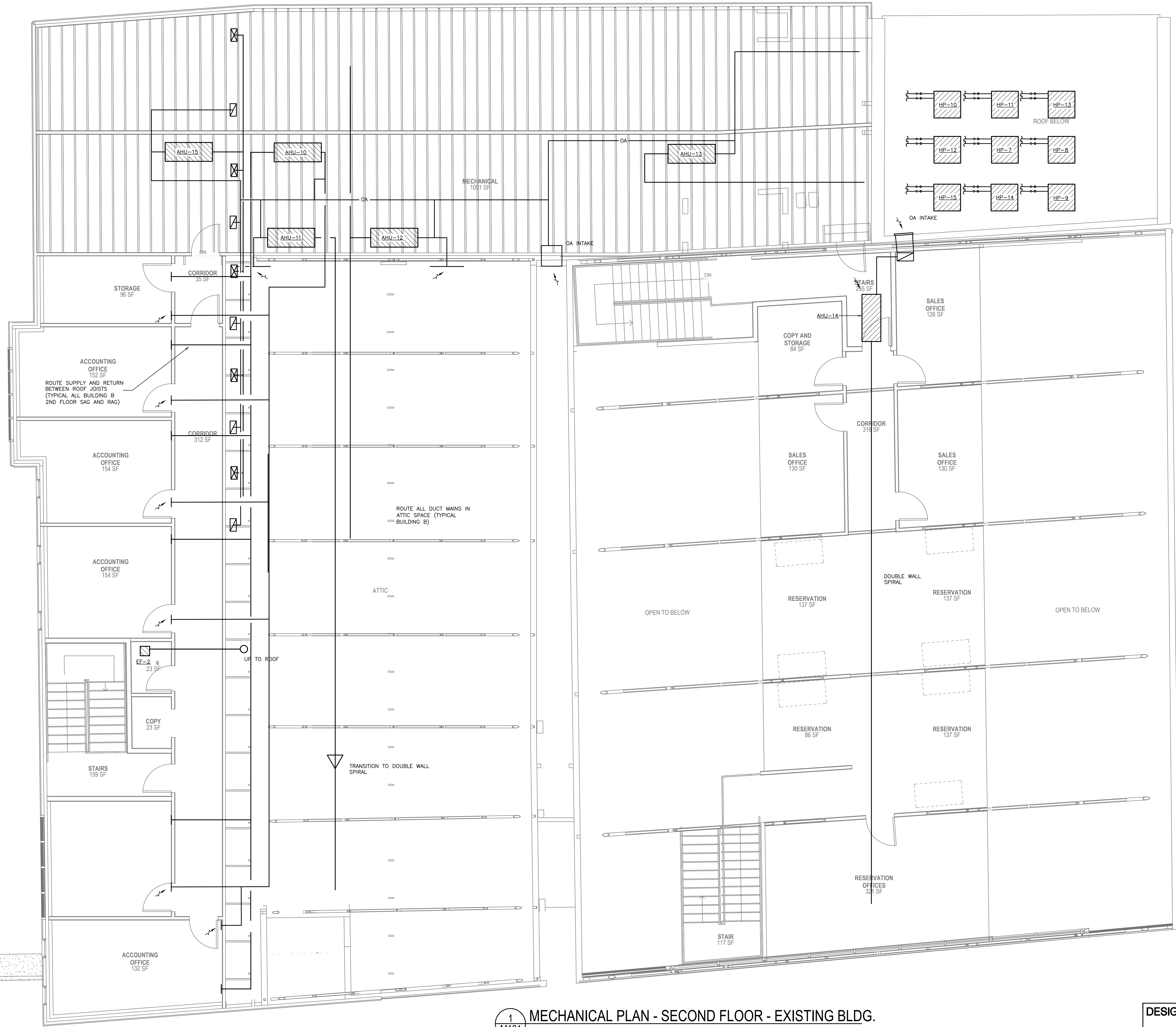
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DATE

Author  
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4-11-2016

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A1201

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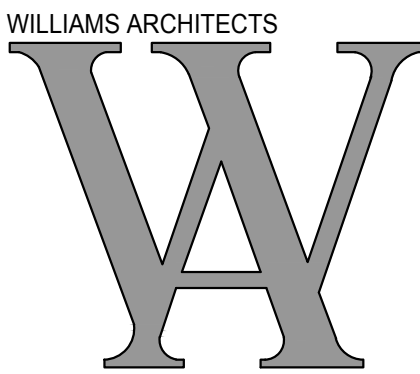
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M121

MECHANICAL PLAN - SECOND FLOOR - EXISTING BLDG.

1/4" = 1'-0"

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No.	Date	Scope

DRAWING  
MECHANICAL PLAN  
SECOND FLOOR - EXISTING BLDG.

DRAWING BY  
SCALE  
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DATE

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AS NOTED  
515042.00  
4-01-2016

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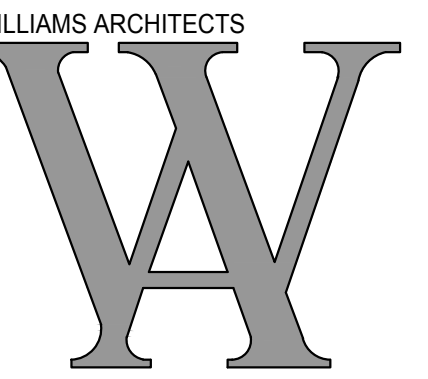
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1/4" = 1'-0"

SHEET SIZE 30"x 42"  
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-REVISIONS-

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DRAWING  
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ROOF - NEW BLDG.

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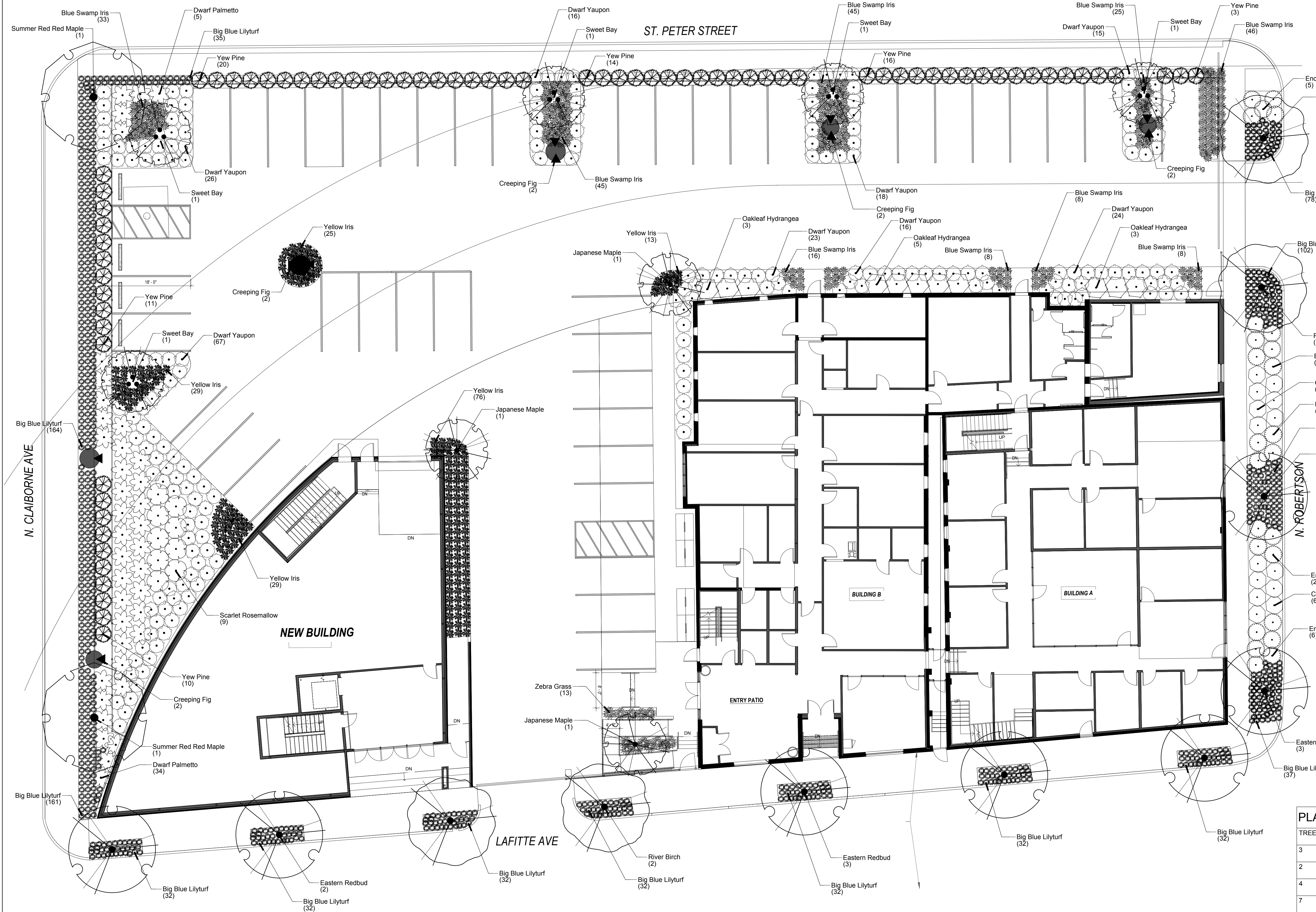
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# M241

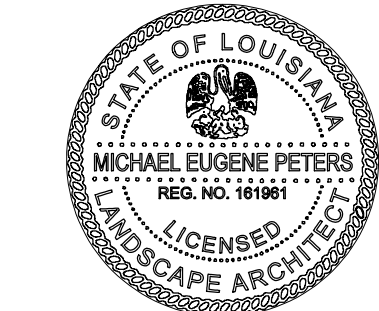
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- LANDSCAPE NOTES:**
1. ALL PLANTING MATERIALS USED SHALL BE OF GOOD QUALITY AND MEET AMERICAN ASSOCIATION OF NURSERYMEN (ANNIS) STANDARDS FOR MINIMUM ACCEPTABLE FORM, QUALITY AND SIZE FOR SPECIES SELECTED, AND CAPABLE TO WITHSTAND THE SEASONAL TEMPERATURE VARIATIONS, AS WELL AS THE INDIVIDUAL SITE MICOR-CLIMATES.
  2. ALL LANDSCAPE MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE CURRENT PLANTING PROCEDURES ESTABLISHED BY THE 'LOUISIANA NURSERYMAN'S MANUAL FOR THE ENVIRONMENTAL HORTICULTURAL INDUSTRY,' LATEST EDITION, AS PUBLISHED BY THE LOUISIANA NURSERY AND LANDSCAPE ASSOCIATION.
  3. FOR ALL PROJECTS THAT INCLUDE LANDSCAPE AREAS NOT INCLUDED WITHIN STORMWATER BMP'S, AT LEAST 50% OF THE LANDSCAPED AREA SHALL BE DROUGHT-TOLERANT PLANTS. A MINIMUM OF 50% OF ALL REQUIRED LANDSCAPED AREAS SHALL BE DESIGNED, CONSTRUCTED AND MAINTAINED AS GREEN STORMWATER INFRASTRUCTURE FEATURES.
  4. LANDSCAPE AREAS HAVING PLANTS WITH SIMILAR WATER NEEDS SHALL BE GROUPED TOGETHER AND IRRIGATED BY A DEDICATED IRRIGATION CONTROLLER STATION. ALL PLANTS LISTED IN THE LANDSCAPE PLAN SHALL BE CLASSIFIED AND GROUPED BY CATEGORY OF WATER USE CALCULATIONS. WATER USE CALCULATIONS SHALL BE GROUPED AS LOW, MEDIUM, AND HIGH.
  5. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO MINIMIZE THE USE OF WATER AND SHALL BE APPROVED AS PART OF THE LANDSCAPE PLAN. INSTALLED IRRIGATION SHALL COMPLY WITH THE FOLLOWING STANDARDS:
    - 5.1.1. AUTOMATIC CONTROLLERS SHALL BE SET TO WATER BETWEEN 7P.M AND 10A.M. TO REDUCE EVAPORATION.
    - 5.2.1. SYSTEM SHALL BE DESIGNED TO AVOID RUNOFF, LOW-HEAD DRAINAGE, OVERSPRAY, OR OTHER SIMILAR CONDITIONS WHERE WATER FLOWS OR DRIFTS ONTO ADJACENT PROPERTY, NON-IRRIGATED AREAS, WALKS, ROADWAYS, OR STRUCTURES.
    - 5.3.1. IRRIGATION EQUIPMENT SHALL COMPLY WITH THE FOLLOWING STANDARDS:
      - 5.3.1.1. LOW-VOLUME IRRIGATION SYSTEMS WITH AUTOMATIC CONTROLLERS ARE REQUIRED.
      - 5.3.1.2. LOW-VOLUME IRRIGATION SYSTEMS INCLUDE LOW-VOLUME SPRINKLER HEADS, DRY EMITTERS, AND BUBBLER EMITTERS.
      - 5.3.1.3. DRIP, TRICKLE OR OTHER LOW-VOLUME IRRIGATION SHALL BE PROVIDED ON AT LEAST 90% OF THE LANDSCAPE AREAS EXCEPT FOR THOSE AREAS DEVOTED TO TURF AND FLAT GROUNDCOVER PLANTS.
      - 5.3.1.4. INTEGRAL, UNDER-THE-HEAD, OR IN-LINE ANTI-DRAIN VALVES SHALL BE INSTALLED AS NEEDED TO PREVENT LOW-HEAD DRAINAGE.
      - 5.3.1.5. AUTOMATIC CONTROL SYSTEMS SHALL BE ABLE TO ACCOMMODATE ALL ASPECTS OF THE DESIGN. CONTROLLERS SHALL BE DIGITAL, HAVE MULTIPLE PROGRAMS, MULTIPLE CYCLES, AND SENSOR INPUT CAPABILITIES.
      - 5.3.1.6. SOIL MOISTURE SENSORS AND RAIN OR MOISTURE-SENSING OVERRIDE DEVICES ARE MANDATORY.
      - 5.3.1.7. SPRINKLER HEADS SHALL BE SELECTED AND SPACED FOR PROPER AREA COVERAGE, APPLICATION RATE, OPERATING PRESSURE, AND ADJUSTMENT CAPABILITY.
      - 5.3.1.8. DRIP IRRIGATION SYSTEMS ARE PERMITTED IF COMMERCIAL OR AGRICULTURAL GRADE MATERIALS ARE USED.
      - 5.3.1.9. BACKFLOW PREVENTION DEVICES ARE REQUIRED.
    - 5.3.2. THE OWNER OF RECORD IS RESPONSIBLE FOR THE MAINTENANCE, REPAIR, AND REPLACEMENT OF ALL LANDSCAPE MATERIALS OVER THE ENTIRE LIFE OF THE DEVELOPMENT.
    - 5.3.3. LANDSCAPE MATERIALS SHALL BE MAINTAINED IN GOOD CONDITION, PRESENT A HEALTHY, NEAT AND ORDERLY APPEARANCE, AND KEPT FREE OF WEEDS, REFUSE, AND DEBRIS, ANY DEAD, UNHEALTHY, OR MISSING PLANTS SHALL BE REPLACED WITHIN 6 MONTHS OF NOTIFICATION BY THE CITY. IRRIGATION SYSTEMS SHALL BE MAINTAINED IN GOOD OPERATING CONDITION TO PROMOTE THE HEALTH OF THE PLANT MATERIALS AND CONSERVATION OF WATER.
    - 5.3.4. NEW DEVELOPMENT SHOULD PROMOTE SAFE, CONVENIENT AND ATTRACTIVE PEDESTRIAN AND BICYCLE ACCESS TO THE LAFITTE GREENWAY.
    - 5.3.5. WHEN ADJACENT TO SIDEWALKS, TREES SHALL HAVE A MINIMUM HEIGHT OF 12' AT PLANTING, WITH A MINIMUM CANOPY CLEARANCE OF 6.5' TO ALLOW PEDESTRIAN PASSAGE.
    - 5.3.6. ALL DECIDUOUS SHADE TREES AT THE TIME OF INSTALLATION SHALL HAVE A MINIMUM CALIPER OF 2.5" FOR SINGLE TRUNK TREES, AND 1.25" FOR MULTI-TRUNK TREES, AND A CLEAR TRUNK HEIGHT OF AT LEAST 6'.
    - 5.3.7. SINGLE-STEM ORNAMENTAL TREES SHALL HAVE A MINIMUM CALIPER OF 3". MULTI-STEM ORNAMENTAL TREES SHALL HAVE A MINIMUM HEIGHT OF 8' AT PLANTING AND A MINIMUM OF 3 TRUNKS WITH A MINIMUM 1.5" CALIPER EACH, WITH 5 TRUNKS MAXIMUM.
    - 5.3.8. LARGE DECIDUOUS AND EVERGREEN SHRUBS SHALL HAVE A MINIMUM HEIGHT OF 3' AT INSTALLATION, AND SMALL SHRUBS SHALL HAVE A MINIMUM HEIGHT OF 18" AT INSTALL. PERENNIALS AND GROUNDCOVER SHALL BE A MINIMUM OF 4" CONTAINER STOCK.
    - 5.3.9. MULCH SHALL BE A MINIMUM OF 2" THICK DRESSING AND SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES, EXCEPT TURF, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS. MULCH SHALL BE KEPT FROM DIRECT CONTACT WITH TREE TRUNKS AND ORGANIC MATERIALS. ALL MULCH SHALL DERIVE FROM A LIVING NATURAL SOURCE.
    - 5.3.10. LANDSCAPE INSTALLATION AND MAINTENANCE SHALL BE PERFORMED IN A SUSTAINABLE MANNER, SUBJECT TO THE LANDSCAPE PRINCIPLES PUBLISHED BY THE LSU AG-CENTER, LOUISIANA YARDS AND NEIGHBORHOODS (LYN) PROGRAM, A GUIDE TO LOUISIANA-FRIENDLY LANDSCAPING, LATEST ADDITION.

**PLANT SCHEDULE**

TREES	COMMON NAME / BOTANICAL NAME	CONT	SIZE	CAL	
3	Japanese Maple / <i>Acer palmatum</i> 'Bloodgood'	30 gal	6' - 8' HT		
2	Summer Red Red Maple / <i>Acer rubrum</i> 'Summer Red'	45 gal	12' HT., MIN.	2.5" Cal.	
4	River Birch / <i>Betula nigra</i>	45 gal	12' HT., MIN.	2.5" Cal.	
7	Eastern Redbud / <i>Cercis canadensis</i>	45 gal	10' - 12' HT.	2.5" Cal.	
5	Sweet Bay / <i>Magnolia virginiana</i>	30 gal	8' - 10' HT	1.5" Cal	
74	Yew Pine / <i>Podocarpus macrophyllus</i>	30 gal	6' HT.		
SHRUBS	COMMON NAME / BOTANICAL NAME	CONT	SIZE		SPACING
25	Encore Azalea / <i>Azalea</i> Encore Autumn Lily	3 gal	15"HT X 15"W		48" o.c.
14	Camellia / <i>Camellia sasanqua</i> 'Shishi-Gashira'	3 gal	15"HT X 15"W		48" o.c.
9	Scarlet Rosemallow / <i>Hibiscus coccineus</i>	3 gal	15"HT X 15"W		60" o.c.
11	Oakleaf Hydrangea / <i>Hydrangea quercifolia</i>	3 gal	18"HT X 15"W		60" o.c.
205	Dwarf Yaupon / <i>Ilex vomitoria</i> 'Stokes Dwarf'	3 gal	12"HT. X 15"W.		42" o.c.
13	Zebra Grass / <i>Miscanthus sinensis</i> 'Zebinus'	3 gal	15"HT X 15"W		36" o.c.
39	Dwarf Palmetto / <i>Sabal minor</i>	7 gal	3' - 4' HT.		60" o.c.
ANNUALS/PERENNIALS	COMMON NAME / BOTANICAL NAME	CONT	SIZE		SPACING
234	Blue Swamp Iris / <i>Iris louisiana</i> 'Blue'	1 gal	12"HT. X 15"W.		24" o.c.
172	Yellow Iris / <i>Iris louisiana</i> 'Yellow'	1 gal	15"HT X 15"W		24" o.c.
GRASSES	COMMON NAME / BOTANICAL NAME	CONT	SIZE		SPACING
935	Big Blue Lilyturf / <i>Liriope muscari</i> 'Big Blue'	1 gal	12"HT X 12"W		18" o.c.
VINE/ESPALIER	COMMON NAME / BOTANICAL NAME	CONT	SIZE		SPACING
10	Creeping Fig / <i>Ficus pumila</i>	3 gal	3' - 5' HT		24" o.c.

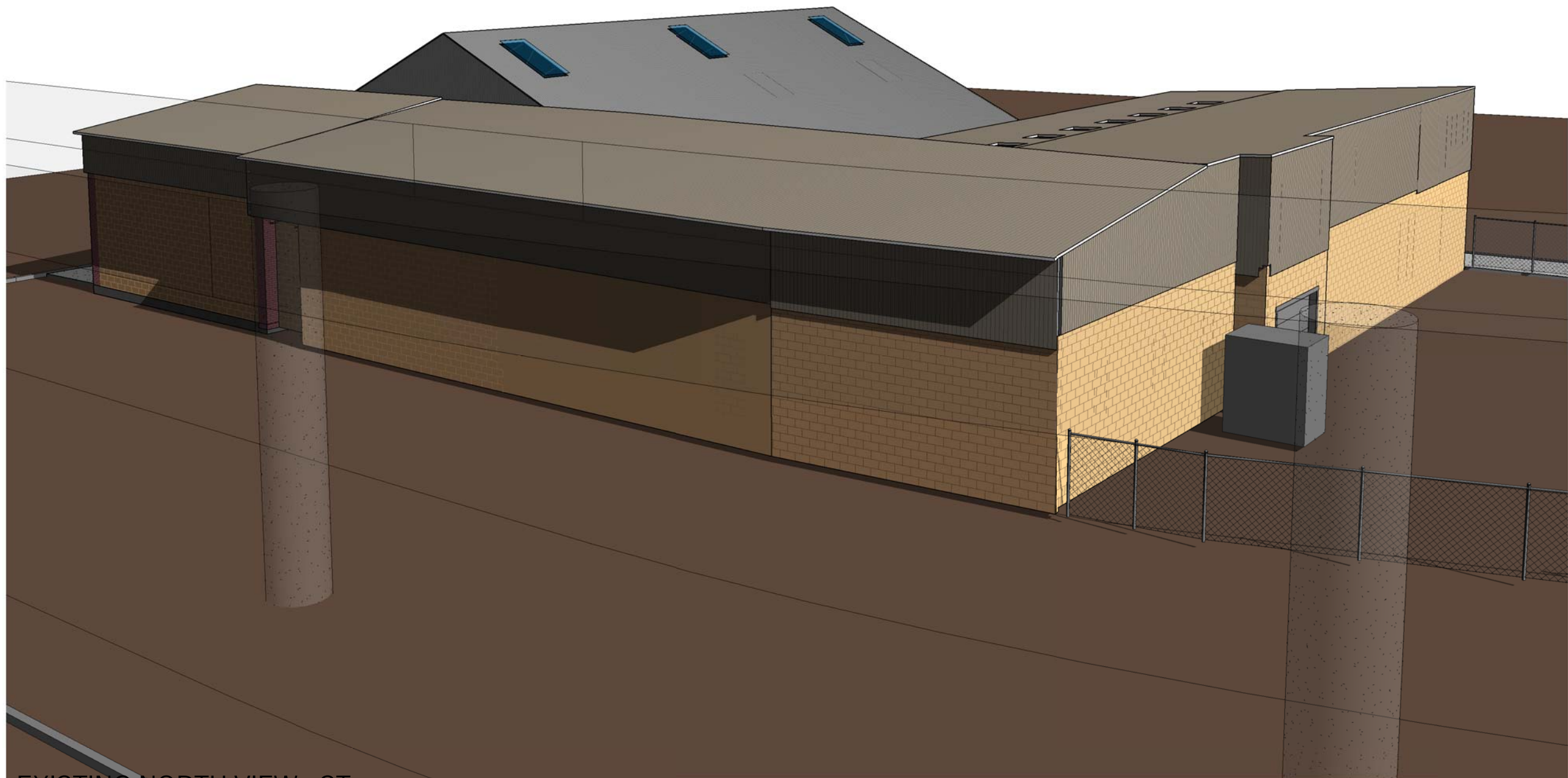


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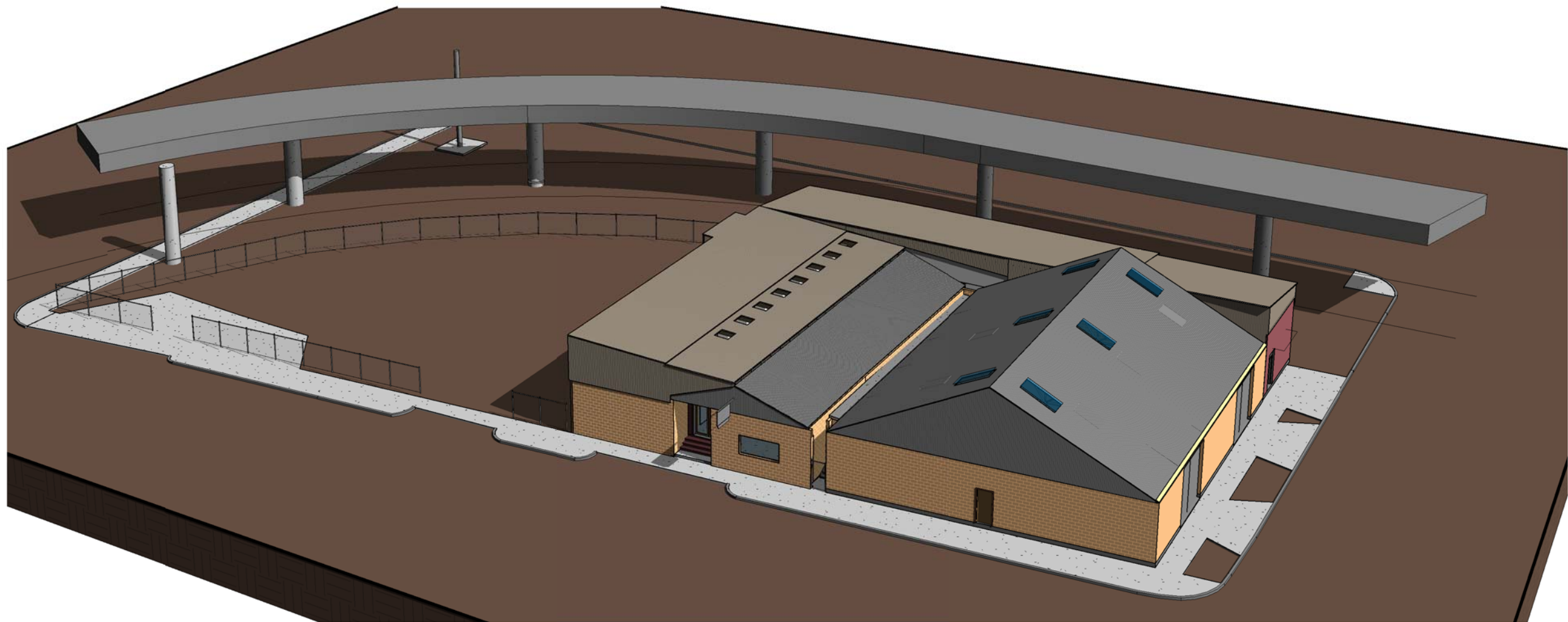
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DRAWING BY: GENE PETERS		
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JOB No. 515042.00		
DATE 4-07-2016		
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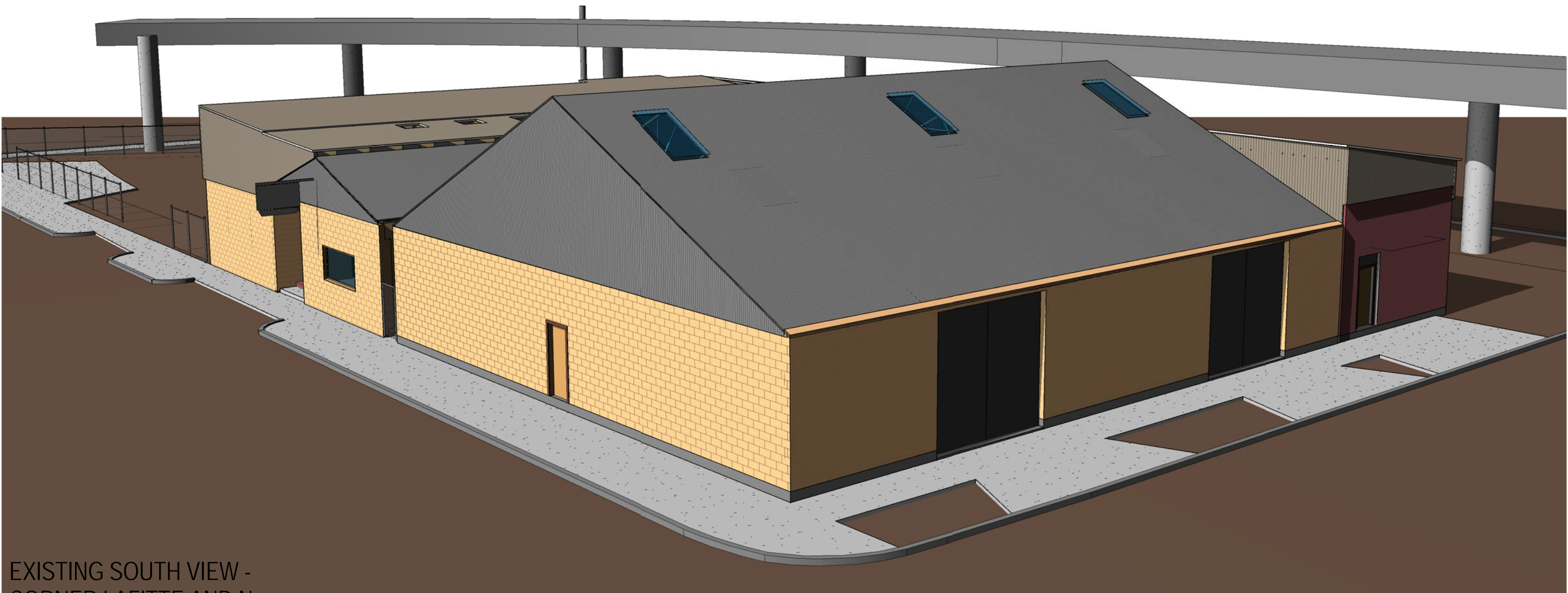
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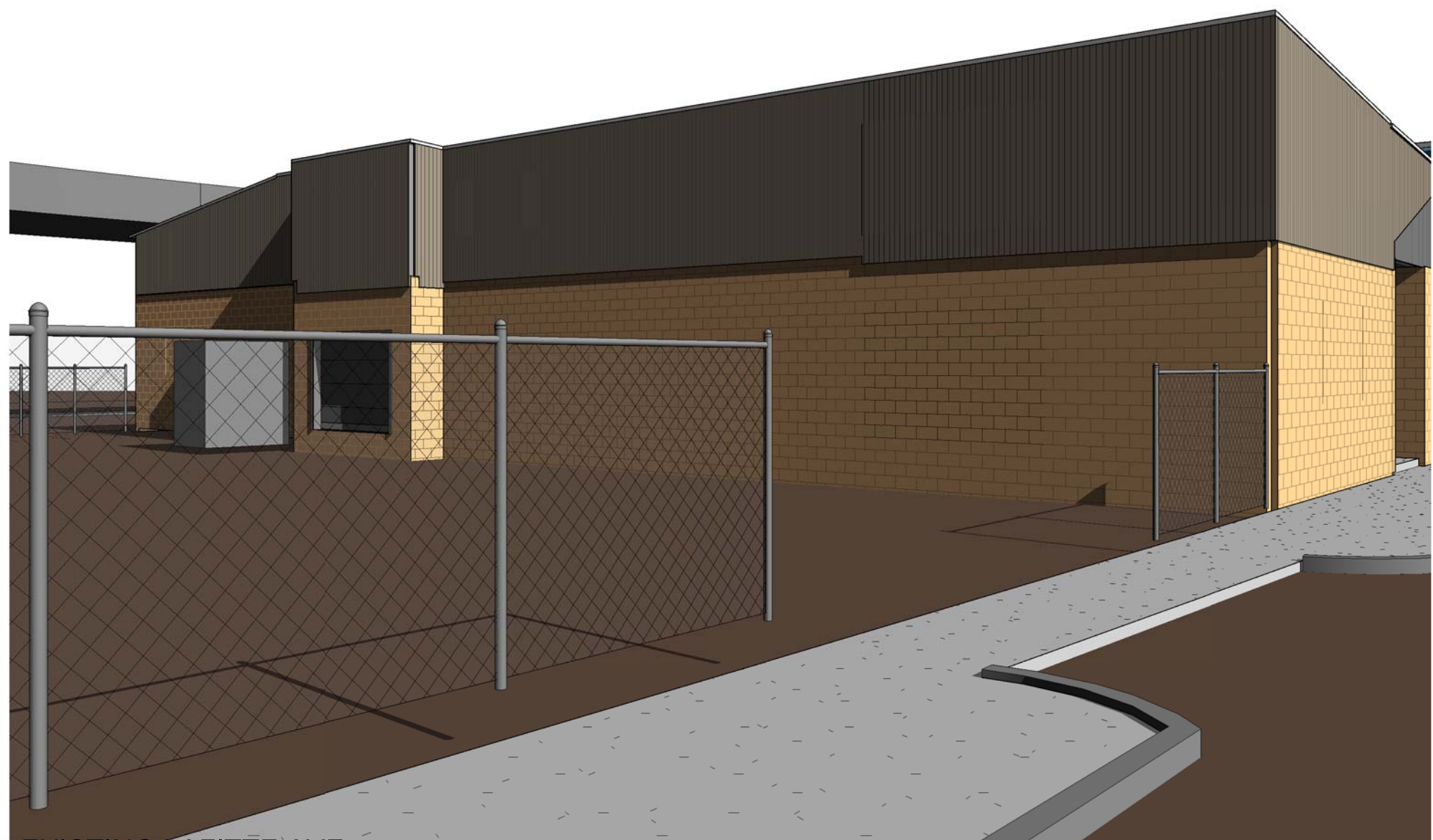
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PETER STREET



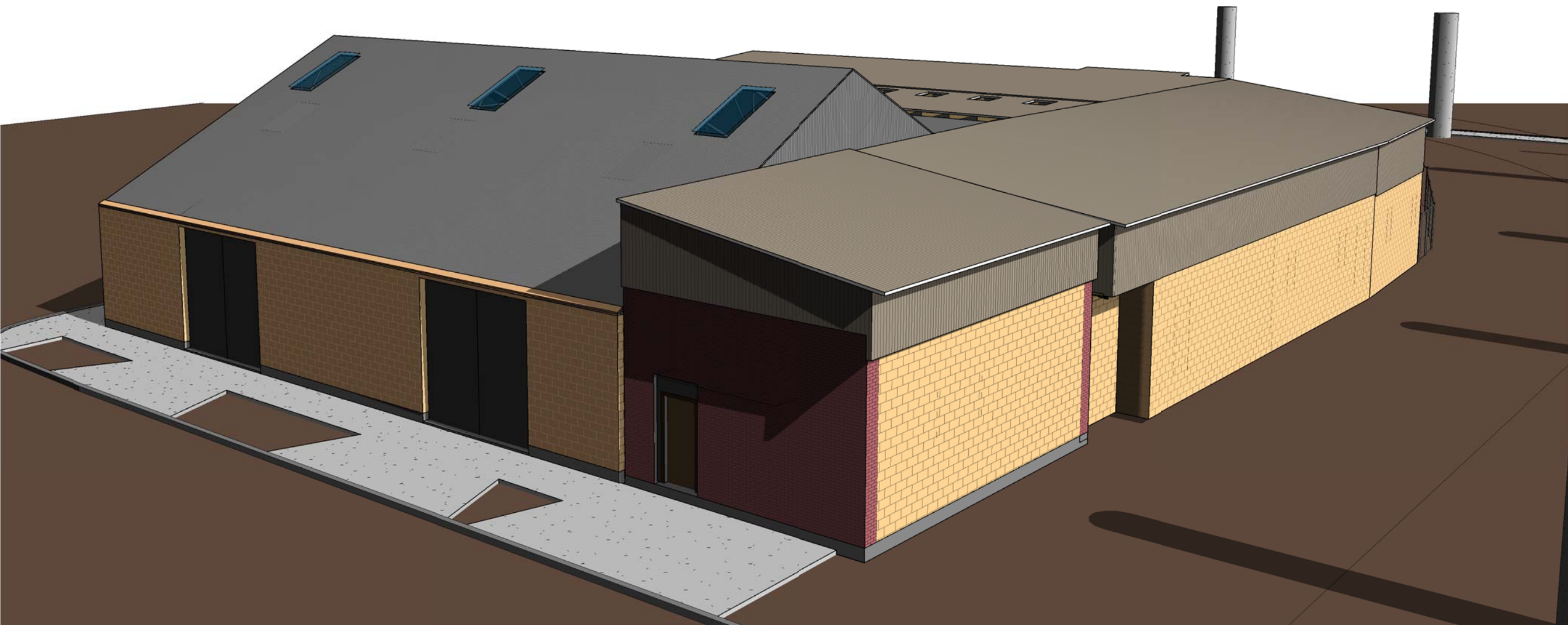
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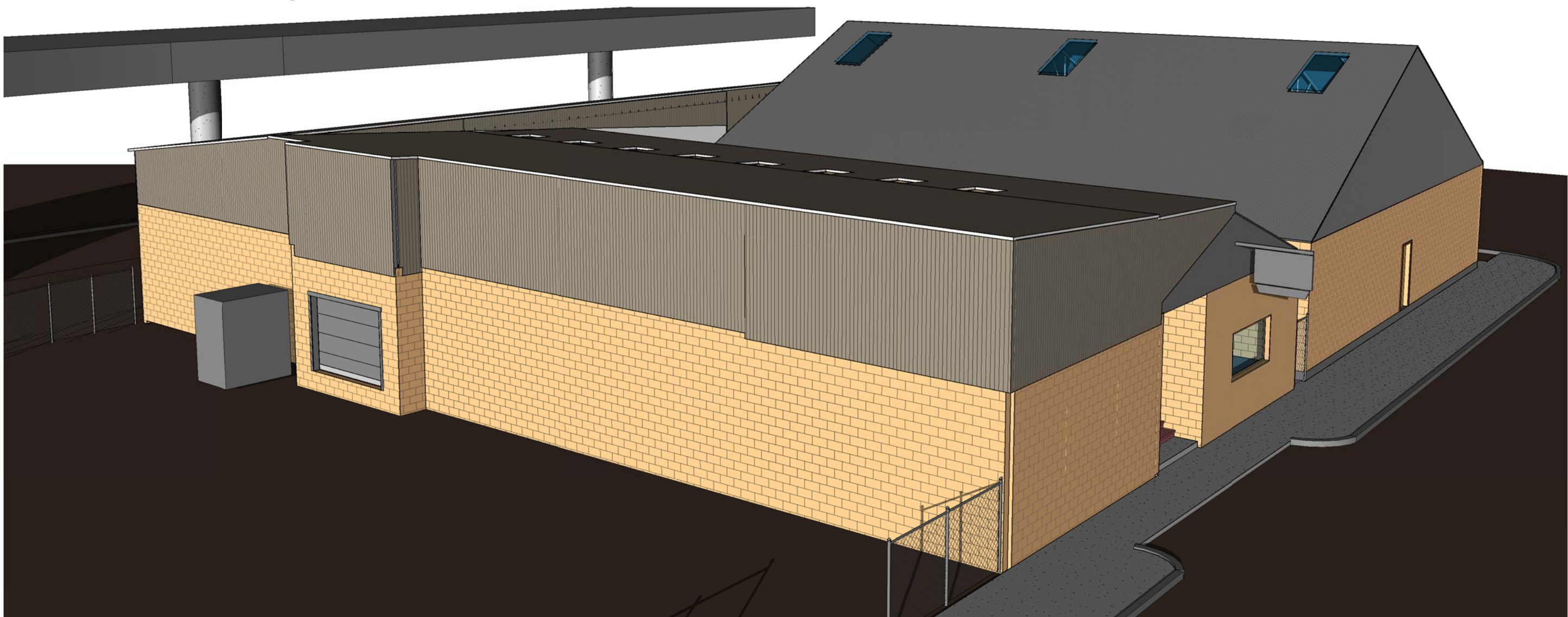
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CORNER LAFITTE AND N  
ROBERTON



2  
EX1000  
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GROUND LEVEL



5  
EX1000  
EXISTING SOUTHEAST VIEW - N  
ROBERTON ST



6  
EX1000  
EXISTING SOUTHWEST VIEW -  
LAFITTE AVE



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No.	Date	Scope

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EXISTING VIEWS

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SCALE	
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DATE	4-01-2016
Sheet No.	

EX1000

